

CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2019-00363 DATE: 25 July 2019

ADDRESS OF PROPERTY: 1818 Wickford Place, Lot 1

HISTORIC DISTRICT: Wilmore TAX PARCEL NUMBER: 11907749

OWNERS/APPLICANTS: RCMD, LLC/Craig Calcasola

DETAILS OF APPROVED PROJECT: The project is the construction of a new single-family house. The front setback will match that of the previous structure on lot 1. Total height is +/- 27'-7 ¼" from grade. Materials include 8" wood German lap siding with 5 ½" wide wood or smooth Miratec corner boards to sit ¼" proud of the siding, smooth Miratec porch columns, wood or smooth Miratec front fascia/barge rafter, unpainted brick foundation and piers and architectural asphalt shingles. Any trim not spelled out to be Miratec shall be wood. Roof overhangs are to extend 24" at a right angle to the siding with open rafter tails and exposed ¾" thick tongue and groove v-notch between the rafters and 7 ¾" barge rafters with bed mold base. Windows will be wood, Simulated True Divided Light (STDL) with no brick casing, 4" wide non- tapered trim with 7/8" putty glaze. On site trees will be saved/added/removed according to the attached tree plan. New trees will grow to be mature canopy trees and will be planted per the city's approved tree list. This COA does not include approval of final lighting, door and handrail details, the applicant is required to finalize these items with staff prior to installation. This COA and any handwritten notes in red on the attached plans take precedence. See attached plans.

The project was approved by the HDC July 10, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- > This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

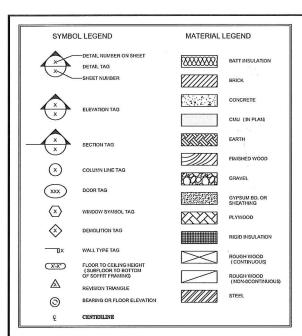
James Haden, Chairman

Staff

C. Kochanek

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org



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WILMORE LOT #1

SHEET INDEX		
ID	NAME	PUBLISHED
C1.0	COVER SHEET	
GN1/S1	STRUCTURAL NOTES	
S2	FOUNDATION PLAN	
53	LOWER LEVEL PLAN	
S4	UPPER LEVEL PLAN	
S5	ROOF PLAN	
A1.0	LOWER LEVEL PLAN	
A1.1	UPPER LEVEL PLAN	
A3.0	ELEVATIONS	
A3.1	ELEVATIONS	

MAIN LEVEL	
HEATED SQUARE FOOT	1,615 SQ. FT.
DECK	112 SQ. FT.
COVERED FRONT PORCH	185 SQ. FT
UPPER LEVEL	
HEATED SQUARE FOOT	647 SQ. FT
TOTAL	
HEATED SQUARE FOOT	2,262 SQ. FT.
LINHEATED SOLIARE FOOT	207 SO FT

Charlotte Historic District Commission Certificate of Appropriateness

HDCRMA-2019-00363

APPROVED AS NOTED



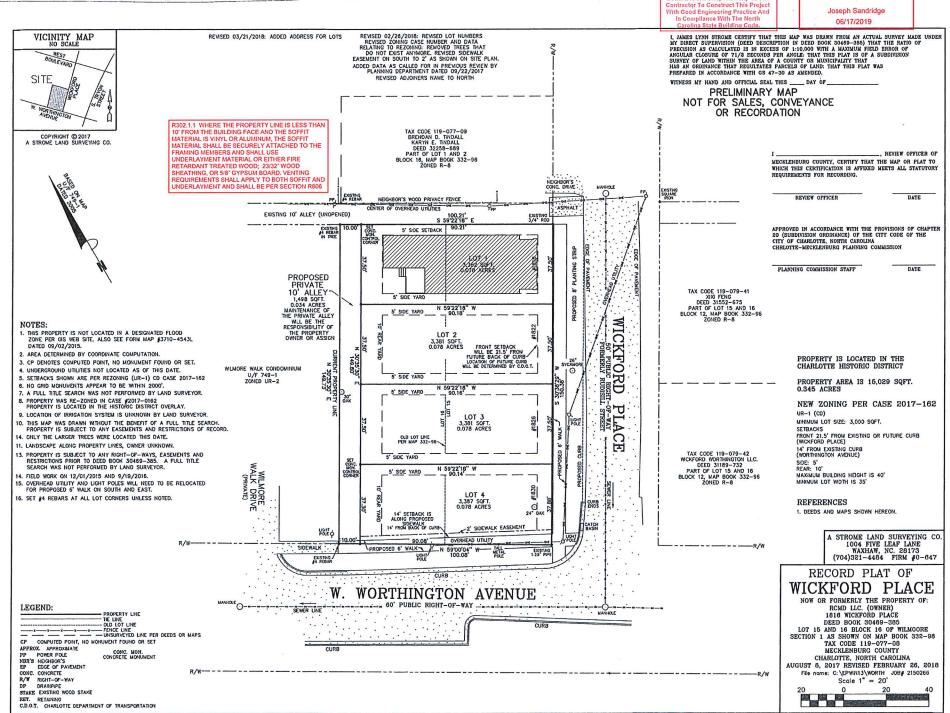
A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE, THIS CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL STATE

PROJECT

397188

APPROVED AS NOTED

PLANS REVIEWED BY:



(704)

STRUCTION 国

CON

CHAI MILMORROI

JUNE 21, 2016

REVISIONS:

WILMOREO101 .125

DESIGN LOADS:

- ring design is for structural information only. The Engineer of Record does not accept fibility for dimension errors, architectural errors, detailing of waterproofing, plumbing a), or mechanical information or any part of the plan not relevant to structural information.

- 1) All continuous wall footings are 0.816 for one and two story houses Pootings for three story walls shall be 12.8324 unless otherwise noted otherwise. Reinforcing is to be as noted on plans Pootings on original solid do not need robor. Robor is required on any compacted fill regardless.
- of compaction.

 All interior piers are B*10* CMI up to a maximum height of 12*. All piers over 32* high must be infled with fype 8 morter. Maximum height for 8*,18* filled pier is 6 6*. Piers forger then D*10* are noted on plans and must be filled with Type 8 morter. For one story structures, pier caps are to be 4* solid masonery. For two story structures, pier caps are to be 5* of solid.

- 1 Foolings for 8° x 15° piers are 24°x30°x10° unless noted otherwise. Reinforcing is to be as noted on plans.

 Indefinite thickness slab frontings which occur in basements and slab on grades floors are 10° deep. The property of the control of the

SPECIAL FOUNDATION CONSIDERATIONS

- 11 Waffle labs are self supporting slabs reinforced according to details and do not require firm soil for support. Soil must only be capable of supporting concrete until it hardens and decelops
- for support Soil most only be capable of supporting concrete until it hardons and develops strength.

 Caisson boundations shall be a minimum of 182 domester drilled unreinforced concrete cuissons follows shall extend to a minimum depth providing 22 penetrations into good original ground Depth of drilling is limited to 152. Therefore, no poor material more than 1.2 deep on with sater in drilled caisson hole. A caisson cannot be used if water rises immediately into a drilled hole. Files will have to be used in such cases.

 Treated wood piles with a minimum diameter of 62 and a minimum design load of six tons are used for all foundations with outsuitable soil deeper than 132 or with sader in drilled caisson holes. Drive per North Carolina or Jount Carolina Code.

 Sizes and reinforcing for forting caps over cuissons or piles shall be as shown on plans. Chinney footings are to be 132 Target than the chinney footings in an aminimum of 122 thick. Toundation will backfilled with dirt which support structural framing shall be constructed as follows:

- tollows:

 A) For earth fill up to maximum height of 3°, 08c 0° CNO or 0° Brick with Bitathene membrane waterproofing on exterior. Poolings are to be 8°x16° or 8°x24° os noted on the plan by 8). For earth fill 4′ to a maximum height of 9′, 'tse 8° x 4′ tooling with 44′ of 18′ dowels hooked in feoting and projecting 18′ above footings. Use 12° CMO walls with 44′ at 18′ vertical bus located 1° from non-dirt fill lace, by all splices 10° and we Dun o wall horizontal reinforcing every 0° in CMC joints. Install 1.2° L for with 21° logs in every other joint horizontally of all corners (i.e., 2° course boss at 16° CC extrictly 8° fill all opin cells of CMC with either Type 2° or M mortar or fill with 3,000 psi concrete. Install waterproof libitations approaches or fills.
- Bituthene membrane or equal.

 C) In lieu of the preceding design, basement walls may be constructed in acc in new of the precenting design, base were waste may be constructed in accordance with RIOLL of the Code. However 147-247-73 corner burs shall be installed at 10° OC, vertically regardless of the wall height. ERECT ALL FRANING REFORE RACKFILLING relatings walls without froming set special design disawings.

FRAMING CONSTRUCTION - OTHER THAN ROOF

- See fable (2002.241) of the Code for a hadrons schedule for structural members.
 Wood hearns shall be supported by notal hangers of adequate capacity where framing into beams or ledges. The allowable load capacity of the hunger shall be equal or greater than the load specified on the plan. Where no load is specified, the "lightest" available hanger for the application.

- In accid objectionable cracking in finished narrawoon floors over any graces, use the following procedure:

 A) Nathing

 a) All floor joints must be too mailed to their support graders with a minimum of 3 0d mails at each end. Larger units will split and render the for mail incline. As cand mailing through the grader or bound is permitted.

 b) If dropped girders are used, end lap all joints and side nail each with a minimum of 2 16d mails at each end of the each joint. Larger strips should be spaced 3° apart and mailed with 3 16d mails at each end of the with two rows of 10d mails staggered at 32° UC, 2° down from the top and 2° up from the bottom with 3 16d mails at each end of each piece in the joint through the members making up the multiple member girder.
- 2° down from the top and 2° up from the botten with 3 164 mals at each sent of each piece in the joint through the intenties inaking up the multiple insumber gitter.

 3) This nothing part through the intenties inaking up the multiple insumber gitter.

 3) This nothing part of the property of the property of the botten to outside so that the first fine of the more than the first instance of the property of the strinkage will be the strinkage will be the strinkage will be considered to the first fine will be the strinkage will accumulate over the girders and an objectionable crack will develop in the finished hardwood floor over the girder line.

 3) Multiple girders where the posts change direction install bridging at 0° 0°. On a minimum of sky pist sportings become any joid direction change. This will resure sheintage distribution over the floor and not let it accumulate at the girder.

 (c) There must be wood blocking thru holled to the steel beam with joists toe nailed or attached to the beam with metal hangers under any hardwood floors that pass over a steel beam supporting floor joists. This condition often exists over become a reason of the property of the prope

- Mesonry littles.

 A For space up to 0°, use $J(\pi \lambda^2/\pi)J/\pi^2$ steel angles.

 B For space from 5° to 10°, use $5\pi J(\pi \lambda^2/\pi)J/\pi^2$ steel angles.

 C For space from 5° to 10°, use $6\pi J(\pi \lambda)J/\pi^2$ steel angles.

 C For space from 5° to 18°. Use a pair of 9 going wires in each of the first 3° courses of brick on a $5\pi J/\pi^2$ x 5° 10° steel angle. Lap all 9 gauge wire splices a minimum of 12° and extend wires a minimum of 12° and in the first property support the steel angles before large missionly. Its shoring may be removed for days following the instabilition of missonry.

 D Alem Structural sleed beams with bottom plates are used to support missonry, the bottom plate must extend the full length of the steel beam. This provides support to the ends of the plate by bearing on the adjacent missonry timbs. The beam should be temporarily shored prior to bearing the missoury. The shoring may be removed tive days after laying the missoury.
- shored prior to leaving the mosenty. The shoring may be removed the days after laging the imposing.

 3) All brick venice over local roots (brick climbs) must have a structural angle lag screated to an adjacent stud wall in accordance with detail, with steel brick stops to prevent sliding of brick.

 3) All rather braces must have two studs from plate through all floors to the foundation comporting beam below. No braces shall be alteched to top and plate without stude directly under them.

 10) Micro partition fails between floor joists or trusses. (25) fadders at 16° 0.0, must be placed perpendicular to the joist to support the plywood decking. The ladders shall be supported with fungion. (27) Clips or similar device.

- Design loads are all dead loads plus:
 Terping rooms.
 All other fleors:
- All wood 1 lossls and open joists must be braced in accordance with the manufacturer's directions plus details shown on the plans. Lond bearing partitions, jacks, beams and column supports must be solid blocked through the foundation. Trusses and physical shall not carry concentrated point loods. I lossl material should not be need as blocking under concentrated point loods. MI point loods must be corried to boundations with adequate blocking under concentrated point loods. MI point loods not be corried to boundaries with adequate blocking under concentrated point loods. MI point loods exceed the columns where steel columns have no concrete or masonry, unless otherwise noted, a 5,87857858 or 5,87853458 and be plate shall be used to spread the column load across the bearing surface. Bose plates shall be builted with at least two ½ diameter anchor builts or expansion built to concrete or masonry.
 Intess noted otherwise on plans, all exterior locing wall study talter than 10° shall be constructed as follows:

GENERAL NOTES

- While In to 12 high Balloon frame 2 x 4 study of 127 a c with 25 than suraturing amounts of study on each side of each opening north secured; to the freeder.

 10 Walls 12 to 20 high: Balloon frame 2 x 6 study at 10 aye 125 2028 shoulding required for wall heights 7 15 Provide 2 1 W x 5 2 To 15 kins study on each study of openings is to 6 wide and 2 2 x 6 king study for openings less than 3 wide. Fasten king study securely to all beaders with a minimum of 12 16d nation of 3 76 diameter lag screws embedded a minimum of 4 mato the broader.

 10 Cable end walls or rooms with voulted ceiling jorsts.

 11 Cable end walls or rooms with voulted ceiling jorsts.

 12 For strength with 12 to 15 provide 2 to 15 provide 12 to 15 provide 12 provide 12 provide 13 provide 13 provide 13 provide 13 provide 14 provide 14 provide 13 provide 14 pro

- first floor top plate

 E) NOTE SEE STUTIAL DESIGN OF ENGINEER FOR WALLS TALLER THAN 20, WHEN OPENINGS IN HIGH
 WALLS EARCEDS & IN WIDTH, OR IP THE WALL CANNOT BE CONSTRUCTED USING ANY OF THE METHODS
 WITNINGED.

 Continuous 2x6 bridging shall be mailed to diagonal or vertical web members of all open web
 Hours tusses over 10 long. They shall be installed from this span as a load distribution member.

 With 2x8 because is not endominate. But ends of Orderm one trust space.
- The Exb bridging is not continuous, lap ends of bridging one truss space, over stud walls for building over two stories, but not more than three stories:
- (a) Interior walls:

 (b) Non-local bearing:

 (c) Non-local bearing:

 (d) Exterior walls:

 (e) Non-local bearing:

 (e) Non-local bearing:

 (e) State or walls:

 (e) State or walls:

 (f) Exterior walls:

 (f) Exterior walls:

 (f) Interior walls:

 (f) Interior walls:

 (f) Spans up to 2° 0°

 (f) Spans from 3° 6° 6° 6°

 (f) Spans from 3° 6° 6° 6°

 (f) Spans (f) for more

 (f) State or walls:

 (f) Spans from 3° 6° 6° 6°

 (f) Spans from walls:

 (f) Spans from 3° 6° 6° 6°

 (f) Spans from 3° 6° 6° 6°

 (f) Spans from 3° 6°

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- noted officeric

 17) When ceiling joists are parallel to an exterior wall, the the railters near the top plate to ceiling joists with a 2 x B strong back a minimum of 5° 0° long at 4 feet on center across the top of the ceiling joists 2 x 4 rafter ties shall be fastened to the side of the rafter and the strong
- back.

 At all exterior diagonal wall panels, each panel shall be naited to each adjacent panel with 5 10d noils or fird together with metal stripping model at four locations between floors with a minimum of 2 16d nails into each panel at each strap. This will avoid vertical cracking in panel plants.

- of 2 16d nalls into each panel at each strap. This will avoid vertical cracking in panel joints due to horizontal oscillating panels.

 19) We all stairs, every stud at each stringer must be nalled to each stringer with a minimum of 2 16d noils. His will avoid cracking between wallboard and top of base molding due to vertical escallation of stain stringers.

 20) Food traces that have now hereing partitions passing muler them should be nailed to the partition plates to avoid ceiling wall cracking.

 21) Food traces that have now hereing partitions passing muler them should be nailed to the partition plates to avoid ceiling wall cracking and used as dead wood for sheetisek beards should be nailed to the wall froming to prevent ceiling wall cracking.

 22) All streadural froming humber exposed directly to the weather or bearing directly on exterior masonry piers or concrete shall be treated. All wood in centact with the ground is to be ground confact approved. All such exposed directly to the weather shall be protected to prevent the excursions of the stailed and stake built "false chimneys" shall be constructed with 2 a 3 study.
- Occurrence of rot.

 2) Inhest other-size detailed all stick built "false chimneys" shall be constructed with 2 x 4 ston at 12 n c, balloon framed from attic relling or floor. Pasten 15/32 CDX pivond on all side at 12 n c, balloon framed from attic relling or floor. Pasten 15/32 CDX pivond on all side critical past with a 1 ½ x 21. 10 gains much a similar connector.

 24) Hern muchanged, but moved from under 14 on old Page 2.

 3) ALL POINT LOADS FROM ROOF RRACES, LACK STUDS, BRAM STEPPORTS WHETHER WOOD OR STEP CANNOT REAR OR SHENTING MARKE DIRECTION TO THE FOUNDATION CONTRIBUTION CON

- 3) Joints are necessary at the following locations:

 a) Horizontally at each floor line
 b) No areas larger than 144-37 surface exposed.
 c) No dimensions longer than 189
 d) No dimensions longer than 189
 d) No dimensions long than 2-1-2 tracts the shortest dimension.

 d) Dip screed required at the bottom of all walfs 2* above pased areas and 4* above grade?
 c) See ACTN-226 and 1683 for further information.
 f) Application of an approach channel enring compound.
 f) The curing shall continue multi-the cumulative number or days the ambient temperature above 50°F has totaled seven. During enring, the connects shall be protected from any mechanical injury, load stresses, shock, vibrations, or damage to finished surface.

- All roof trusses must be built in accordance with truss manufacturers' requirements. The down connections to useld upfill shall be installed where required. When noof bruss manufacturers do not provide the required connectors, it is the responsibility of the contractor to north the roof curse engineer or the Engineer of Record to provide an adequate connector.
 In addition to the Code's factories rechedule, unless noted otherwise on the plan, roof members.
- in addition to the Code's testener schedule, unless noted intervise on the plan, root members shall be field down with additional metal connectors as follows:

 1) Etck framed rafter members exceeding 10° in length, as measured from their horizontal projection, and all roots over interclosed areas such as perches use Simpson 1125 connectors except 4° or at every third rafter to fasten the lower end of the rafter to the top plate.
- B) All lower ends of valley and hip members which bear on a top plate use a Simpson HCP or

- B) All lower ends of calley and hip members which bear on a top plate use a Simpson HCF or equivalent connector.
 Balters shall be 2 x B at 10° o c sprace pine him 2 for shingles except as noted. His yere to be not into hips ringles, chr. unless noted there six: this shall can disturb his arrow of exercises shall use 2 x B at 10° o/c sprace pine for \$\frac{1}{2}\$ frathers unless noted otherwise.
 Cellar the shall be 2 x B at 10° o/c at all dispose unless noted otherwise and located a nominal 3° below the ridge. Vaulted estilings require special collar tie or ridge beam details. See the end of Table 1002 B.1 of the Color unless otherwise detailed on the plan.
 A minimum of three collar lies shall be used at all ridges even if two lies must be put on one set of rather as a a size larger than rathers unless noted otherwise.
 All hips and ridges are a size larger than rathers unless noted otherwise.
 All hips and ridges are a size larger than rathers unless noted otherwise.
 All hips and ridges of the results of the r

- (1) Doof Plan Lygend:

 A indicate feation of roof brace point at rotter level
 B) Or Arrow away from the brace point indicates direction of roof brace to partition, beam, or other brace point below.
 C) Or Arrow into brace point indicates a vertical or almost vertical roof brace to partition, beam, or other brace point below.
 MI roof braces in € 2.2 × 4 mailed with 10 penny mails of 9° of vertically from top to bottom. Braces longer than 10° must be braced horizontally in two directions at mid height.

 E) Maximum spacing of roof braces is to be as follows:

 a) For 2 × 6 Hog
 b) For 2 × 6 Hog
 c) For 0 C

MATERIAL SPECIFICATIONS

CONCRETE GENERAL NOTES:

- Before placing concrete, all debris, water and other deleterious material shall be removed from Refore placing concrete, all debris, water and other deleterious material shall be removed the places to be occupied by the concrete. The placing of all concrete shall be in accordance with ACI 318 and AFM 201 requirements. Pumping of concrete will be permitted only slit the Engineer of Record's approval of proposed concrete mix and method of pumping. Concrete—shall be rapidly handled from the maxer to forme and deposited as nearly as possible to its final be rapidly handled from the maxer to forme and deposited as nearly as possible to its final position to avoid segregation due to rechnolling. Concrete to be specified as which dy hand and wibrated to assure close contact with all surfaces of ferms and reinforcing sized and leveled of a proper grade to receive finish. All concrete while be placed upon clean, damp surfaces.

- Vibration shall be applied directly to the concrete and shall be sufficient to cause flow of settlement but not long enough to cause sugregation of the mix.

 3) Construction joints shall be located in accordance with MC 101. All reinforcing steel shall be continuous across points. In slabs on grade, sow contraction joints shall not be over 20 feet center to center each way londs shall be some a depth of one third of the slab thickness. Saving of the joints shall connecte as soon as the concrete has bardened sufficiently to primit saving without excessive raveling. Fill the saw cuts with approved joint filler after the concrete has coned.
- Corrects when deposited, shall have a temperature not below 50°F and not above 90°F. The methods and recommended practices as described in ACI 306 shall be followed for cold weather concreting and ACI 306 for his worther concreting. Freshly placed concrete shall be practicated from premature drying by one of the following methods:

- Absorptive mat or labric kept continuously Waterproof paper conforming to ASIM C171

- C) Materpicol paper conforming to ASIM CI71

 1) Application of an approved chemical curing compound

 E) The coring shall continue until the cumulative number or days when the ambient temperature above 50°F has tabled saven. During curing, the concrete shall be protected from any mechanical injury, hood diversers dimed. Abbation or damage to finished sanfaces. Beinforcing steel boar shall be determed in accordance with NSIM MSDS and or ADIS and formed to 15°IM ADIS 70 Grade for steel. Belief aire faither inclinating to be 50°M ADIS, steel size. Accessories shall conform to the CRSI Manual of Standard Practice. The following minimum connected every shall be provided over reinforcing bars:

 A) Exposed to Earth. 15°C.

 Exposed to Earth 15°C.
 - ny Exposed to Weather

 Exposed to Weather

 Stabs not Exposed to Weather

 D) Beams and Columns

MASONRY CENERAL NOTES:

- 1) Masonry walls are to be of the sizes and in the locations shown on the plans and shall be constructed in accordance with the provisions of ACI 550.

 2) Hollow Load Dearing Units: ASIM COU made with lightweight or normal weight aggregates. Grade N I mile shall be provided for eatering walls on partitions.

 3) Concrete Building Briefs: MSIM CSS made with lightweight or normal aggregates, Grade N I or S I mile shall be provided for other load bearing walls on partitions.

 4) Concrete Building Briefs: MSIM CSS made with lightweight or normal aggregates, Grade N I or S I except that brick exposed to weather shall be N I.

 4) Morton: ASIM CSSO 95, Type 7 prepackaged morton mix which shall not contain any non-concentitions filters combined with not more than three parts sand per on part mix.

 5) Reinforcing Steel: ASIM ACIS Case to 40 steel deformed bars where indicated on the plans. Where reinforcing better as intervaled in the cell for spacing of vertical bars is 2 inches along the length of the wall. The tolerance for the distance between the face of the concrete massony units they shall be exceed.

 45.

 By Mortar protrusion shall be less than 45. A protrusion of 15 or greater must be removed before.
- 6) Mortar protrusion shall be less than 1/2". A protrusion of 1/2" or greater must be removed before
- grouting
 7) Horizontal Joint Reinforcement, ASIM A62 Subricuted from cold drawn steel wire and hot dip zinc coated (ASIN AISO). It shall conset of two or more parallel, longitudinal wire 0.1875 in dameter with well connected cross wires 0.1875 in dameter at a minimum of 15° c/c. Joint reinforcement is to be installed in every other course and in the first two courses at the bottom and top of wall openings and shall extend not less than 24° past the opening. "Plices shall overlap not less than 12°.
- than 12. Execution. Mosomy units shall be faid in a running band pattern unless noted otherwise. The walls shall be corried up level and plumb within the loberances specified in ACI 200.1.00, Section 23.3.2. Il nonstandard mineraisms are encountered block shall be study into a masoury sow to III, not by stretching or drinking joints. Unfinished work shall be steeped back for joining will new work. Toobhing will not be permitted everyt where specifically approved. Damaged units are
- new work. Looting will not be permitted everyt where specifically approved. Damaged nurs are to be cut out and new units set in place.

 The filled cells and bond beam blocks of reinforced masonive walls are to be filled with ATM.

 ATM 91 Coven for Masonive yill minimum compressive stress of 2,000 psi and shainp range of 05 to 117. The outside face of the bottom block of each cell is to be busine not for inspection of remlocing and clean out of mortal droppings in cell. The grout is to be pumped into the cell in maximum five foot fills and immediately distant of minimize any volding of the grout Recombidate each lift by wibrating successful inclusion into the pre-celling lift before placifies to foot fills and immediately with the probability to place the place of the probability to the probability to the probability to place the probability to the probability to the probability to the probability to place the probability to the pr Reconsolidate the top lift and fill with grout any space left by settlement shrinkage

E (P3D)
1,100,000
1,100.000
ifications E (PSI)
1.900 000
1,300 000
E (P3D
1,700,000
1,500,000

APPLICATION 15b Solidon Chord 2500 198 NSK Lomber Column (1/3), & Rimboard 2500 1.48 Lomber 1.50 K Rimboard 2500 1.48 Lomber 1.50 K Rimboard 2500 1.48 Lomber 1.50 K Rimboard 1.50 K Rimboard

STILL GUNERAL NOTES:

- 1) All steel wide flange beams shall conform to ASIM M572 having a minimum yield stress of 50,000
- P 44.

 All steel pipes shall be Schedule 40 or better with a minimum yield stress of 35,000 psl.

 All steel tubes shall conform to ASTM 4500, Grade R, having a minimum yield stress of 46,000 psl.

 All other shapes not listed shows shall conform to ASTM ASTA baying a minimum wield stress of
- 28,000 psi.

 1 Unites otherwise noted, all welds shall be inlict type with a minimum 2/10° key. Welding electrodes shall be E70xx type having a minimum yield strength of 5,000 psi. Welding work and materials shall conform to the American Welding Society Code (ANS D1).

 8 Bolled connections shall include high strength bolts conforming to 1870 A325. Foundation anchor bolts or it code shall conform to A7M A36 basing a minimum yield strength of 38,000 psi.



The Design In These Construction ments Have Been Reviewed Fo Compliance With The State Building Code. It is The Responsibility Of The Contractor To Construct This Projec With Good Engineering Practice And In Compliance With The Month

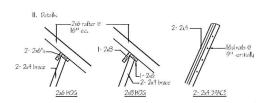
PROJECT # 397188

APPROVED AS NOTED

A LIMITED REVIEW FOR NC RESIDENTIAL CODE. THIS THORIZATION SHALL NOT B IOLATIONS OF LOCAL, STATE OR FEDERAL LAWS

PLANS REVIEWED BY:

Joseph Sandridge



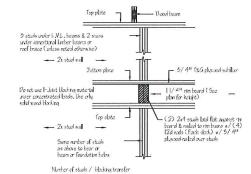
Stucco Code Requirements

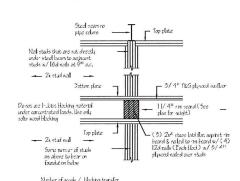
- A. Jords are recessary at the following locations: D Kortzoitally at each floor line ID No areas larger than 194 sq.ft, caposed II) No discretion longer than 16"-O"
- IV) No direction shorter than 21/2 times the shortest dimension B. Drip screed required at the boston of all walls 2" above paved

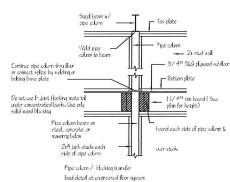
load detail at engineered floor system.

bao detail as erojneereo flor system

C. See 151M 926 and 1065 for further information.











Ċ Д Structures, ering and Design te: 704-332-5460 on: 843-406-7174 elorence 704-301-9 Residential Signature Charlotte: 7 Charlotte: 7 Charleston: Myrtle Beach/Flore www.residential



RESIDENTIAL STREET HIDN. Devideon St. Charlest, N.C. 25205

TA # A NEW RE REV. DATE DESCRIPTION SCALE:

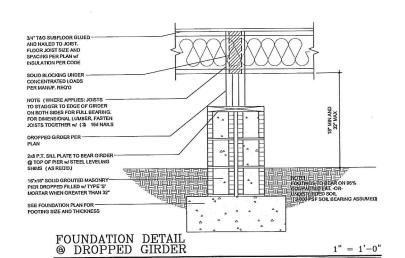
GENERAL NOTES

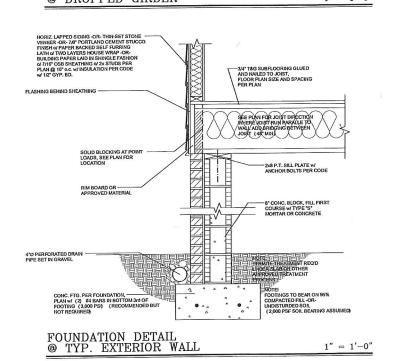
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GN1/S1











FRILLIA

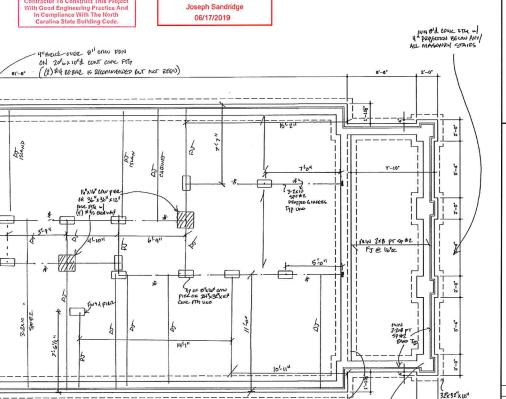
AFFAI 2x10 PT LEDGED PER APPENDIX MAIL OF ZOIB NORC

DJ - DOUBLE JOIST (TYP BELOW PARALLEL WALLS OF 5FT LENGTH OR GREATER (SEE SEPARATION DETAIL FOR TRADE CLEARANCES)

TIP OF LUL PT POST ON MIN 16 KIBLESE CONC PTG



FOUNDATION PLAN



1/4" = 1'-0"

ATTIVAL 2X10 PT LEDGEN-per Appendix "hi" of 2018 NCEC



. О Residential Structures, P Engineering and Design Charlotte: 704-332-5460 Charleston: 843-406-7174 Myrtle Beach/Florence 704-301-952



CHARLOTTE

DESCRIPTION REV. DATE PRS SCALE:

S2





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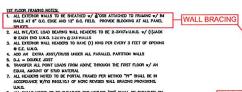
PROJECT # 397188

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PLANS REVIEWED BY:

Joseph Sandridge 06/17/2019



7. ALL EXCENSION.

ACCORDING TYPE REQUISIT OF HOTO REVISED WALL.

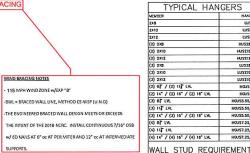
UNCLUS HOTO TO BE SEARCH FOR LETHER OF SHALL BE SEATED ON
BOTH SCHED WALL FOR PROME HATCHES TO TRANSPORT SYMMETICAL THAT
OR \$6 STORMS OF A CALMON BE EXCENSION BY THE FIRST.

B. ATTACH LIVE MY DO STORMS OF THAT OF THE STORM WORLD FACE UNCLUS

ATTACH LIVE MY DO STORMS OF THE MALE SHIP CAC FROM WORLFACE UNCL.

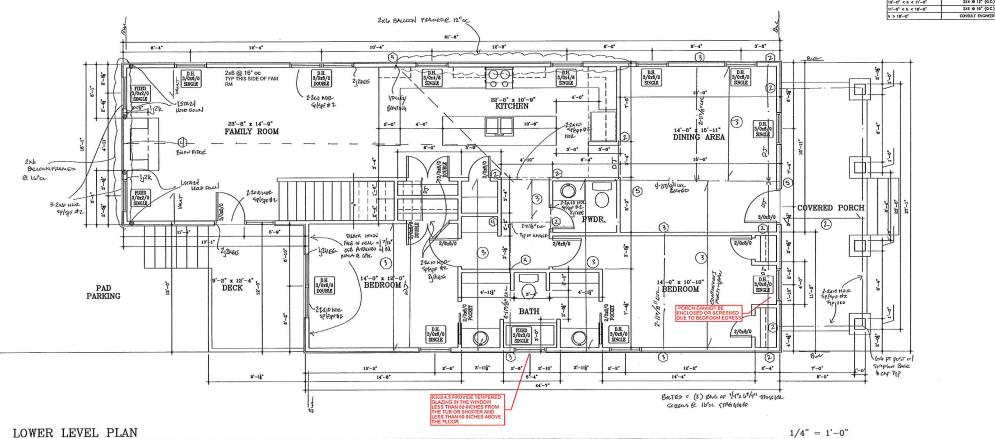
① = 208 (SPF /2) CEILING JOISTS @ 16" Q.C. U.H.Q. ① - 208 (SPF #2) @ 18" ac UHA

(3) = 11-7/3" PRI-40 I-JOISTS @ 16" O.C. U.H.O. MULTI SPAN AS SHOWN





NOTE: THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE INTENT OF THE 2018



iSi

Residential Structures, P.C. Engineering and Design Charlotte: 704-332-5460 Charleston: 843-406-7174 Myrtle Beach/Florence: 704-301-9521 www.residentialstrucurespc.com



RESIDENTIAL STRUCTURES NO. 3225 P.C. No. 3225 dESIDENTIAL STRUCTURES, E.C. 3110 N. Devideon St. Charlese, N.C. 22005 Stal For Structural Only

RESIDENCE A NEW RESI

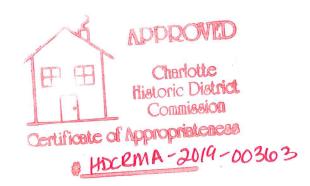
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CHARLOTTE,

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SHEET:





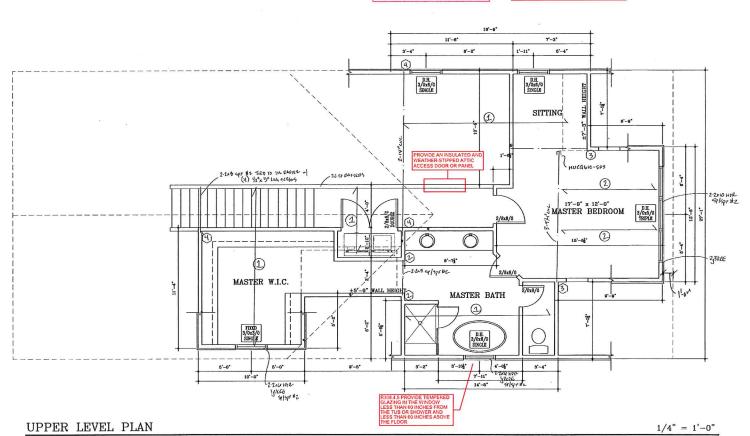
PROJECT #397188

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PLANS REVIEWED BY:

Joseph Sandridge 06/17/2019





- 20 FLOOR CEENS FRANCE NOTES:

 1. ALL DETECTS WALLS TO BE SEATHED # | \$'000 ATTACHED TO FRANCE # / B'
 MANS AT 6' GO. DOCK NO 15' GO. PRIOL. PROVINCE RECORDS AT ALL PAYEL.
 SPLICES.
 2. ALL INTEXT. LOAD BEAUSIN READERS TO BE 2-20'S UARD #/ (I) MOST AT EACH
 DO UARD.
 2. ALL DETECTS HOUSESTED KAVE (I) INIO PER EMENT 3 FEET OF OPENIO B
 AT CAP MANSE CEENS ANTIS TO BE MAND TO RAFTERS #/ (6) NO MALS UARD.

 (J) = MANSEN OF STRICES. STRICE TO BE SAME SIZE AS

 ASSOCIATE WALL PRIMARY STRICE.
- FIREEE. = # of jack study and # of king study at each end of header.

 O = 203 (SFF #2) CREMO JUSTS # 18" O.C. UMO.
- () = 208 (SPF #2) @ 18" Q.C. WHO.



TYPICAL	HAN	IGERS
MEMBER		HANGE
ZXE		LW572
2×10		FD2510
2X12		LU5210
(2) 2×5		HU528-2
(2) 2×10		HU5210-2
(2) 2×12		HUS212-2
(3) 2×8		LUS28-3
(3) 2×10		LUS210-3
(3) 2x12		LUS210-3
(2) 9 / (2) 11 LVL		HOUS410
(2) 14" / (2) 16" / (2) 18" LVL		HQUS414
(3) 8], FAF		HQUSS.50/10
(3) 11 LVL		HQUSS:50/12
(3) 14° / (3) 16° / (3) 18° LVL		HQUSS.50/14
(4) 9f" LVL		HQU\$7.25/10
(4) 117 LVL		HQU\$7.25/12
(4) 14" / (4) 16" / (4) 18" LVL		HQUS7.25/14
WALL STUD	REQU	IREMENTS
EXT. WALL HT. (h)	STUD :	DIE AND SPACING
h < 10'-0"		2X4 0 16" (0.C.)
10'-0" < h < 11'-0"		2X4 0 12" (Q.C.)
11'-0" < h < 15'-0"		2x5 0 16" (0.C.)
h > 15'-0"	> 16'-0" CONSUL	



Residential Structures, P.C.
Engineering and Design
Charlotte: 704-332-5460
Charleston: 843-406-7174
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RESIDENCE

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DATE:		

S4





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PROJECT # 397188

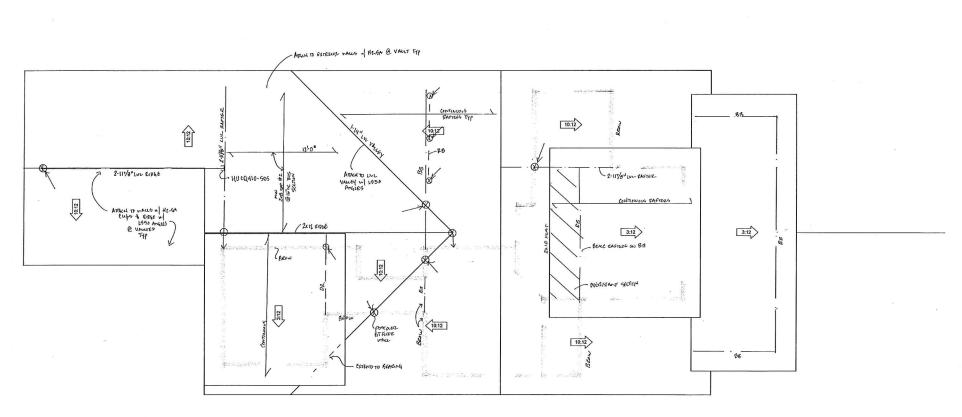
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PLANS REVIEWED BY:

Joseph Sandridge 06/17/2019





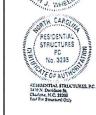
ROOF PLAN

1/4" = 1'-0"



Residential Structures, P.C. Engineering and Design Charlotte: 704-332-5460 Charleston: 843-406-714-84406 Myrtle Beach/Florence: 704-301-9521 www.residentialstrucuresoc.com





AT: A NEW RESI WILLWOTTE, CHARLOTTE,

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DATE:		
S5		



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CONSTRUCTION

NC NC

WILMOREO1

JUNE 21, 2016

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REVISIONS: DATE: BY

A1.0

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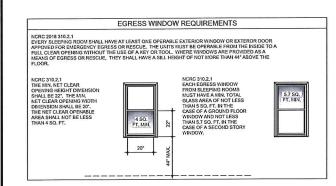
PROJECT # 397188

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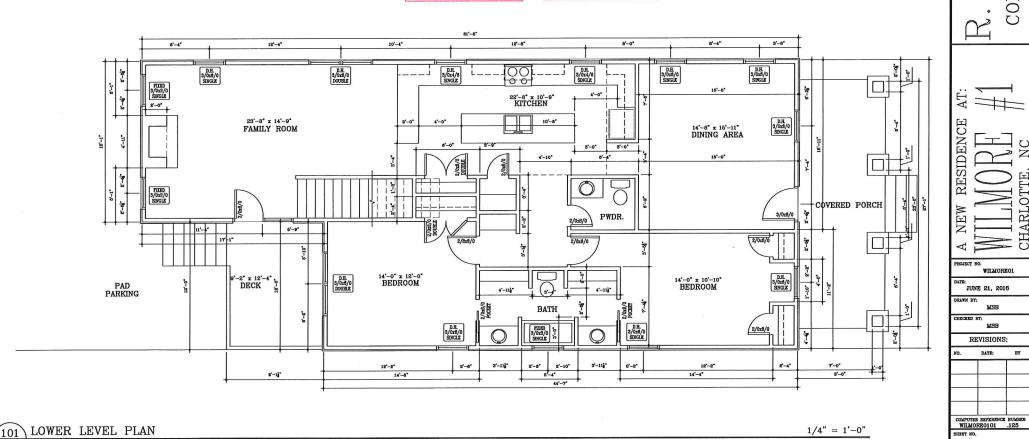
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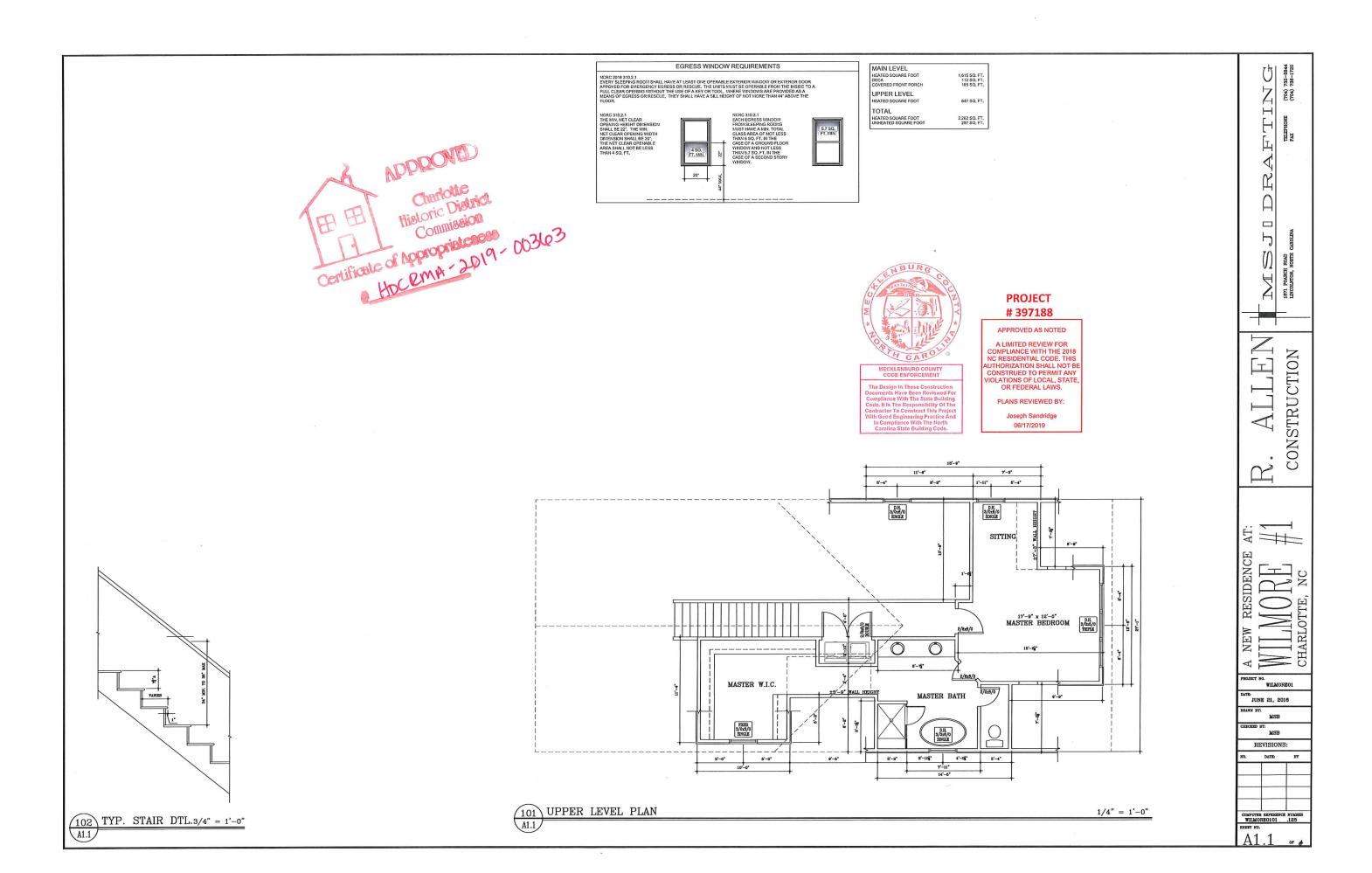


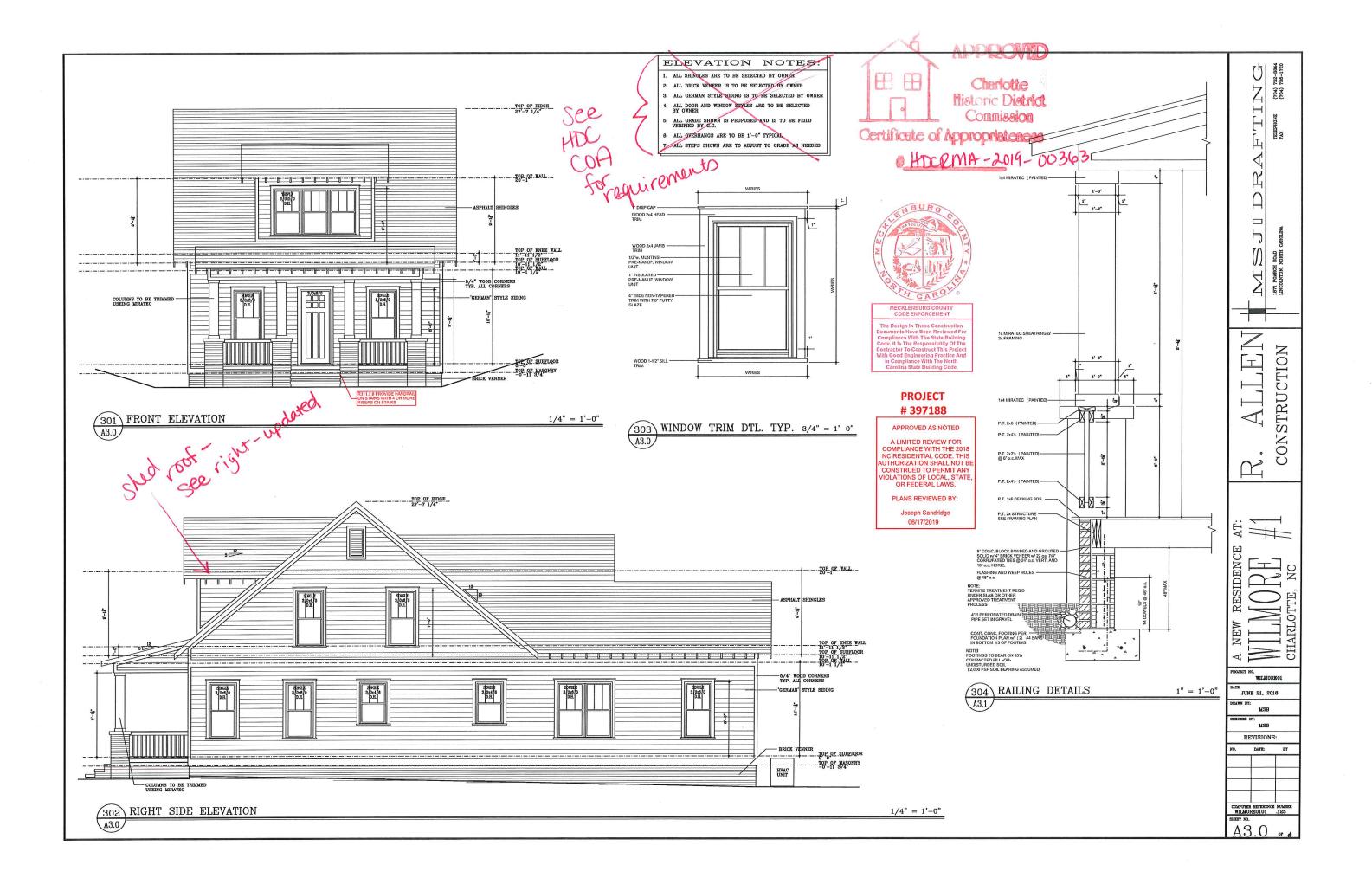
MAIN LEVEL
HEATED SQUARE FOOT
DECK
COVERED FRONT PORCH 1,615 SQ. FT. 112 SQ. FT. 185 SQ. FT. UPPER LEVEL 647 SQ. FT. EATED SQUARE FOOT TOTAL 2,262 SQ, FT, 297 SQ, FT, HEATED SQUARE FOOT UNHEATED SQUARE FOOT

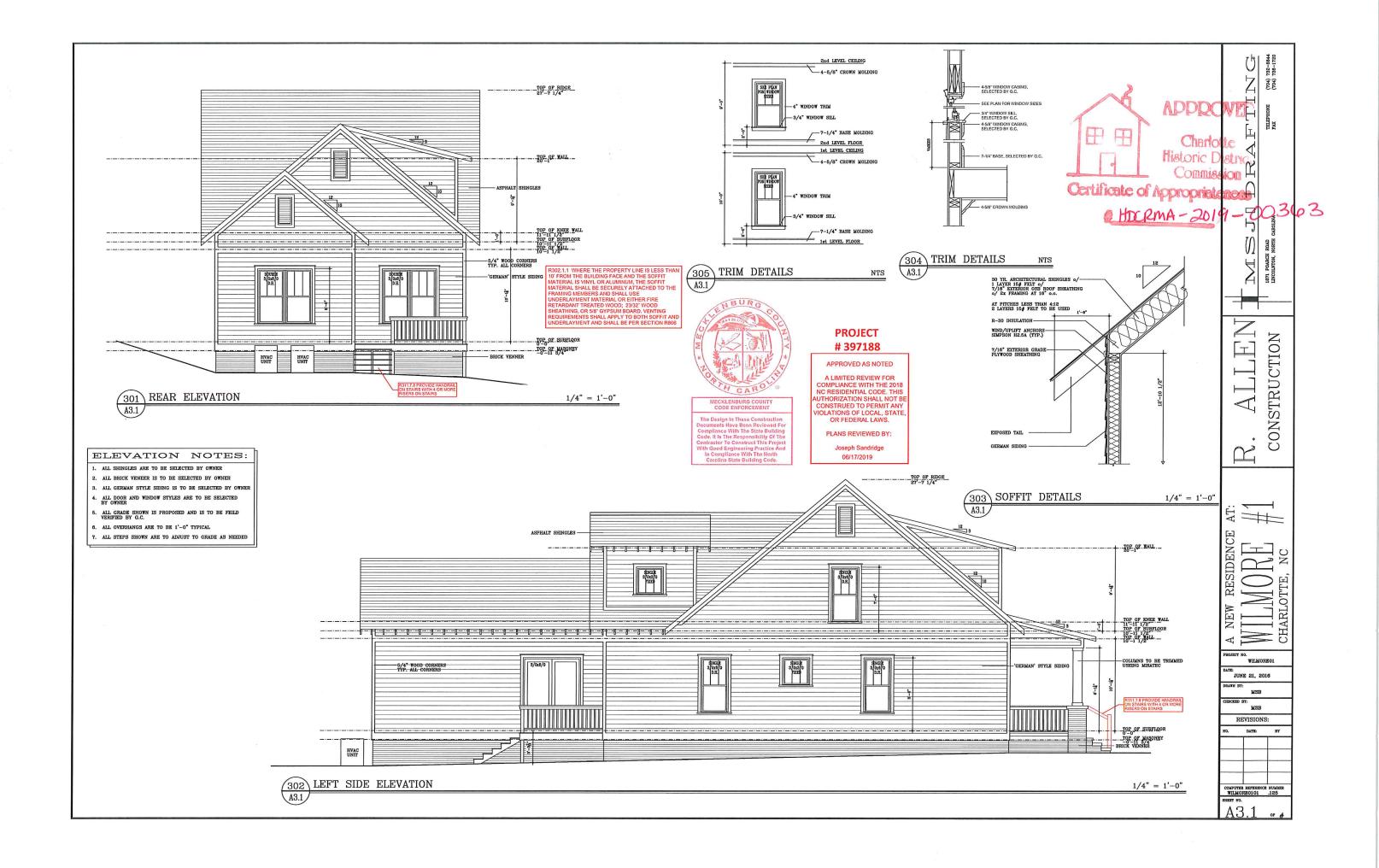


101 LOWER LEVEL PLAN
A1.0

1/4" = 1'-0"





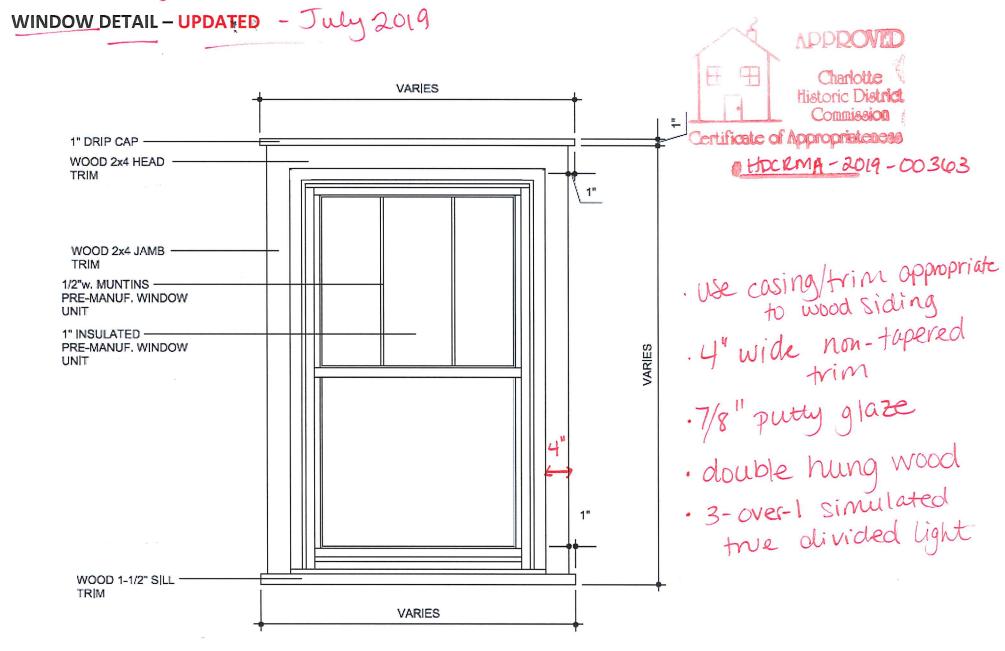


UPDATED ITEMS FOR LOT 1 - 1818 Wickford - July 2019

- 1. TREE SAVE attached is a letter from Barry Gemberling (Arborguard) in regard to his recommendations on how to keep the LOT 4 (Willow Oak) tree safe prior and during construction.
- 2. MIRATEC to be installed on all columns, corners and fascia with corner boards being 5.5 inches
- 3. OPEN TAILS / SOFFITS roof to extend 24 inches at right angle to siding, with ¾ v-groove bead board and 2x8" rafters with bed mold installed base
- 4. WINDOWS 4" wide non-tapered trim with 7/8 putty glaze, removed brick casing



1818 Wickford

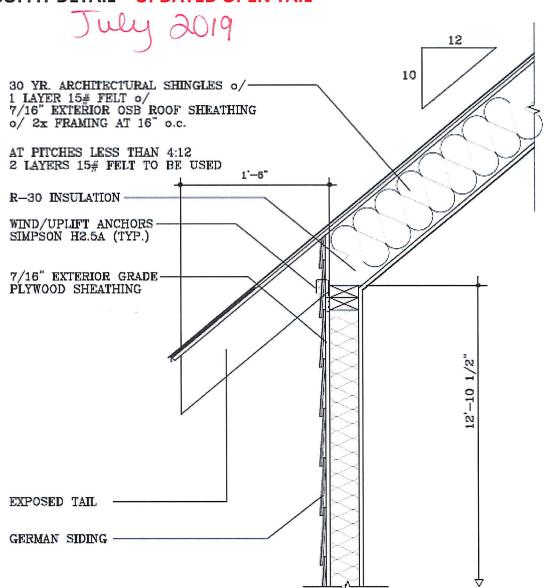


1818 Wickford APPROVED PORCH RAILING & COLUMN DETAIL July 2019 Certificate of Appropriateness.

Q HOCKMA-2019-00343-P,T, 2x6 (PAINTED) P.T. 2x4's (PAINTED) 14 MIRATEC SHEATHING N' P.T. 2x2's (PAINTED) ₹° @ 6" o,c, MAX 3,-0 P.T. 2x4's (PAINTED) 144 MIRATES (PAINTED) -P,T, 1x6 DECKING BDS, P.T. 245 (PAINTED) * P.T. 294's CPAINTED P.T. 2x STRUCTURE SEE FRAMING PLAN P.T. 2474 (PAINTED) P.T. 2x4's (PAINTED) P,T, his decided nos, 8" CONC, BLOCK BONDED AND GROUTED P.T. 2x STRUCTURE SEE FRAMING PLAN SOLID w/ 4" BRICK VENEER w/ 22 gs. 7/8" CORRUFATED TIES @ 24" o.c. VERT, AND 16" c,c, HORIZ, FLASHING AND WEEP HOLES -8" CONCUBLOCK BONDED AND GROUTED @ 48° o.c. SOLID WIF BRICK VENEER W 22 ga. 7/8* CORRUPATED TIES @ 24" ga. VERT, AND 16" ga. HORIZ. NOTE: FLASHING AND WEEP HOLES @ 46" o.e. TERMITE TREATMENT REQ'D @ 45" UNDER SLAB OR OTHER NOTE:
TERMITE TREATMENT REO'D
UNDER SLAB OR OTHER
APPROVED TREATMENT
PROCESS APPROVED TREATMENT 18" DOWELS (23 PROCESS (10) PERFORATED DRAI PIPE SET INGRAVEL 472 PERFORATED DRAIN PIPE SET IN GRAVEL # CONT, CONT, FOOTING PER FOUNDATION PLAN W (2) AN EX-NOTE! POOTINGS TO SEAR ON 95% COMPACTED FLL - OR-UNDISTRIBUTES SOL (2,000 PSF SCL BEARING ASSUMED) CONT. CONC. FOOTING PER FOUNDATION PLAN W/ (2) #4 BARS IN BOTTOM 1/3 OF FOOTING NOTE RAILING DETAILS FOOTINGS TO BEAR ON 95% 1" - 1'-0" COMPACTED FILL -OR-UNDISTURDED SOIL (2,000 PSF SOIL BEARING ASSUMED)

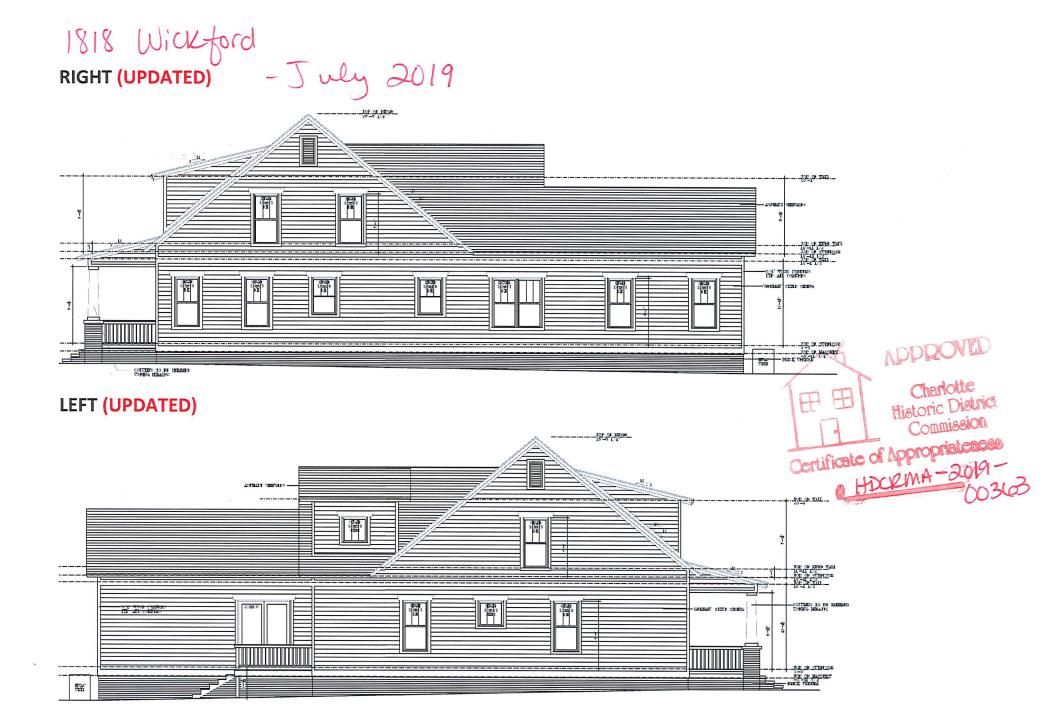
1818 Wickford

SOFFIT DETAIL - UPDATED OPEN TAIL





- . roof overhang to be 24"-measured at a right angle to siding. 2×8" barge rafters with bed mold installed
 - base



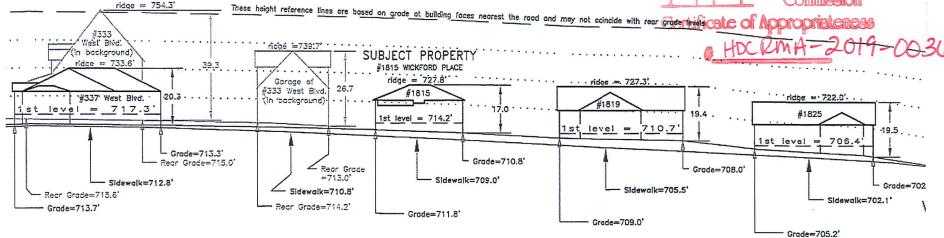
1818 Wickford

STREET SURVEYS

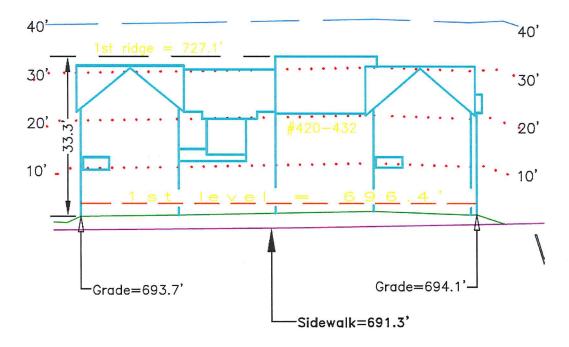
-July 2019

Wickford Place (across the Street – from West Blvd. to Worthington)





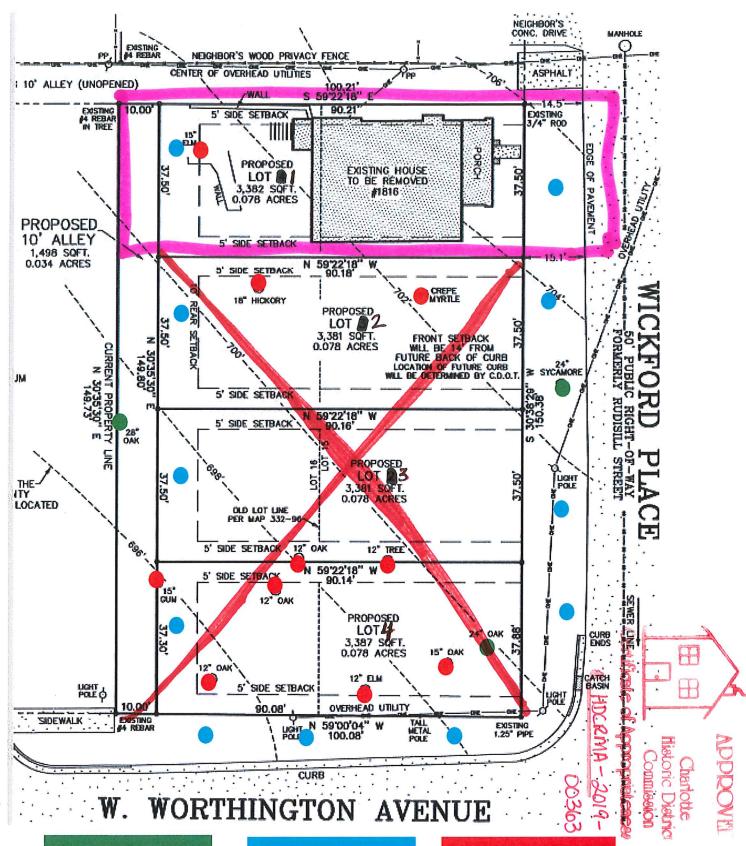
Worthington Ave (Wickford Place)



1816 Wickford Place		
LOT#	Roofline	Elevation to Grade
1	27' 7.25"	730.3′
2	23′ 11.5″	728.6′
3	27′ 7.25″	730.8′
_4	23' 11.5"	724.8′

1818 Wickford SITE PLAN ZOOM-IN - July 2019 Charlese Beneficial Charles Footprint CARLOS & RACHEL ORITZ DB 19362 PG 430 MB 332 PG 96 ID# 114-071-12 Commission Certificate of Appropriatences USE SINGLE FAMILY HDCRMA-2019-00363 ZONING- R-8 Existing 10' ALLEY between our Property & Neighbor 10' ALLEY (UNOPENED) 100.21" R/W R/W 59'22'18'' 20 € New Porch positioned at the same location as the Current (to be demolished) Porch 21.5' from curb. D' NOE SETBACK Footprint of Current house in Red 30'35'30'' EC.38 m S' SIDE SETENCE Our house footprints in Grey WILMORE WALK DRIVE Side Setbacks – 5' Rear Setback - 10' S' SIDE SETENANCE Front Setback – 14' from back of curb Alleyway & Parking in the Rear

Tree Plan - 1818 Wickford



KEEP

- 24" OAK
- 28" OAK
- 24" SYCAMORE

ADD

(11) Medium
Size Oak Trees

REMOVED

- (5) Oak
- (1) Crepe Myrtle
- (1) Gum
- (1) Hickory
 - (1) Elm