



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMA-2019-00363

DATE: 25 July 2019

ADDRESS OF PROPERTY: 1818 Wickford Place, Lot 1

HISTORIC DISTRICT: Wilmore

TAX PARCEL NUMBER: 11907749

OWNERS/APPLICANTS: RCMD, LLC/Craig Calcasola


DETAILS OF APPROVED PROJECT: The project is the construction of a new single-family house. The front setback will match that of the previous structure on lot 1. Total height is +/- 27'-7 1/4" from grade. Materials include 8" wood German lap siding with 5 1/2" wide wood or smooth Miratec corner boards to sit 1/4" proud of the siding, smooth Miratec porch columns, wood or smooth Miratec front fascia/barge rafter, unpainted brick foundation and piers and architectural asphalt shingles. Any trim not spelled out to be Miratec shall be wood. Roof overhangs are to extend 24" at a right angle to the siding with open rafter tails and exposed 3/4" thick tongue and groove v-notch between the rafters and 7 1/4" barge rafters with bed mold base. Windows will be wood, Simulated True Divided Light (STD L) with no brick casing, 4" wide non-tapered trim with 7/8" putty glaze. On site trees will be saved/added/removed according to the attached tree plan. New trees will grow to be mature canopy trees and will be planted per the city's approved tree list. This COA does not include approval of final lighting, door and handrail details, the applicant is required to finalize these items with staff prior to installation. This COA and any handwritten notes in red on the attached plans take precedence. See attached plans.

The project was approved by the HDC July 10, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
 - Display the blue COA placard in a visible location along with any required permits.
 - No other approvals are to be inferred.
 - No demolition other than that specifically indicated on any attached plans is authorized under this approval.
 - All work must be completed in accordance with all other applicable state and local codes.
 - Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.
- This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**


James Haden, Chairman


Staff

SYMBOL LEGEND		MATERIAL LEGEND	
	DETAIL NUMBER ON SHEET		BATT INSULATION
	DETAIL TAG		BRICK
	SHEET NUMBER		CONCRETE
	ELEVATION TAG		CMU (IN PLAN)
	SECTION TAG		EARTH
	COLUMN LINE TAG		FINISHED WOOD
	DOOR TAG		GRAVEL
	WINDOW SYMBOL TAG		GYPSUM BD. OR SHEATHING
	DEMOLITION TAG		PLYWOOD
	WALL TYPE TAG		RIGID INSULATION
	FLOOR TO CEILING HEIGHT (SUBFLOOR TO BOTTOM OF SOFFIT FRAMING)		ROUGH WOOD (CONTINUOUS)
	REVISION TRIANGLE		ROUGH WOOD (NON-CONTINUOUS)
	BEARING OR FLOOR ELEVATION		STEEL
	CENTERLINE		

ABBREVIATIONS			
A.F.F.	ABOVE FINISHED FLOOR	REIN.	REINFORCED
A.C.T.	ACoustical CEILING TILE	R.L.	ROOF LEADER
ALUM.	ALUMINUM	R.O.	ROUGH OPENING
APPROX.	APPROXIMATELY	R.B.	RUBBER BASE
CPT.	CARPET	SEAL	SEALED CONCRETE
C.I.	CAST IRON	SLT.	SLATE TILE
C.B.	CEMENT BOARD	S.S.	SOLID SURFACE MATERIAL
CT	CERAMIC TILE	S.I.	STAIR TREAD
C.O.	CLEAN OUT	S.C.	STAMPED CONCRETE
CONC.	CONCRETE	STRUCT.	STRUCTURAL
CALLU.	CONCRETE MASONRY UNIT	T.X.	THRESHOLD TYPE
CONT.	CONTINUOUS	T.P.	TOILET PARTITION
C.J.	CONTROL JOINT	T.O.M.	TOP OF MASONRY
C. MRBL	CULTURED MARBLE	T.O.S.	TOP OF STEEL
DIA.	DIAMETER	TYP.	TYPICAL DETAIL
D.S.	DOWN SPOUT	VERT.	VERTICAL
DWGS.	DRAWINGS	V.C.T.	VINYL COMPOSITION TILE
E.W.C.	ELECTRIC WATER COOLER	V.W.C.	VINYL WALLCOVERING
EXP. JT.	EXPANSION JOINT		
EXT. GWB	EXTERIOR GYPSUM WALL BOARD		
F.R.P.	FIBERGLASS REINFORCED POLYESTER		
F.E.C.	FIRE EXTINGUISHER CABINET		
F.D.	FLOOR DRAIN		
FTG.	FOOTING		
GA.	GANGS		
G.W.B.	GYPSUM WALL BOARD		
H.W.D.	HARDWOOD		
H-X	HOLLOW METAL DOOR FRAME TYPE		
LB.	LEAD		
LN	LINOLEUM		
L-X	LINTEL NUMBER		
MECH.	MECHANICAL		
M.O.	MASONRY OPENING		
MW-X	MILLWORK ITEM NUMBER		
MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD		
O.C.	ON CENTER		
O.H.	OVER HANG		
PCT.	PORCELAIN TILE		
OPP.	OPPOSITE HAND		
P. LAM.	PLASTIC LAMINATE		
PVT-X	PAINT COLOR		
POLY.	POLYETHYLENE		
P.T.	PRESSURE TREATED		
PTD.	PAINTED		
Q.T.	QUARRY TILE		

WILMORE LOT #1

SHEET INDEX		
ID	NAME	PUBLISHED
C1.0	COVER SHEET	<input type="checkbox"/>
GNI1S1	STRUCTURAL NOTES	<input type="checkbox"/>
S2	FOUNDATION PLAN	<input type="checkbox"/>
S3	LOWER LEVEL PLAN	<input type="checkbox"/>
S4	UPPER LEVEL PLAN	<input type="checkbox"/>
S5	ROOF PLAN	<input type="checkbox"/>
A1.0	LOWER LEVEL PLAN	<input type="checkbox"/>
A1.1	UPPER LEVEL PLAN	<input type="checkbox"/>
A3.0	ELEVATIONS	<input type="checkbox"/>
A3.1	ELEVATIONS	<input type="checkbox"/>

MAIN LEVEL	
HEATED SQUARE FOOT	1,615 SQ. FT.
DECK	112 SQ. FT.
COVERED FRONT PORCH	185 SQ. FT.
UPPER LEVEL	
HEATED SQUARE FOOT	647 SQ. FT.
TOTAL	
HEATED SQUARE FOOT	2,262 SQ. FT.
UNHEATED SQUARE FOOT	297 SQ. FT.



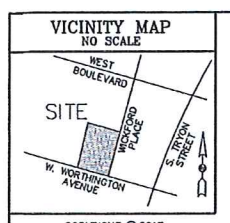
APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 HDCRMA-2019-00363

APPROVED AS NOTED

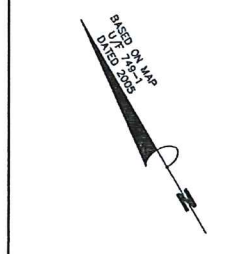


MECKLENBURG COUNTY
 CODE ENFORCEMENT
 The Design In These Construction Documents Have Been Reviewed For Compliance With The State Building Code. It Is The Responsibility Of The Contractor To Construct This Project With Good Engineering Practice And In Compliance With The North Carolina State Building Code.

PROJECT
 # 397188
 APPROVED AS NOTED
 A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS AUTHORIZATION SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS.
 PLANS REVIEWED BY:
 Joseph Sandridge
 06/17/2019



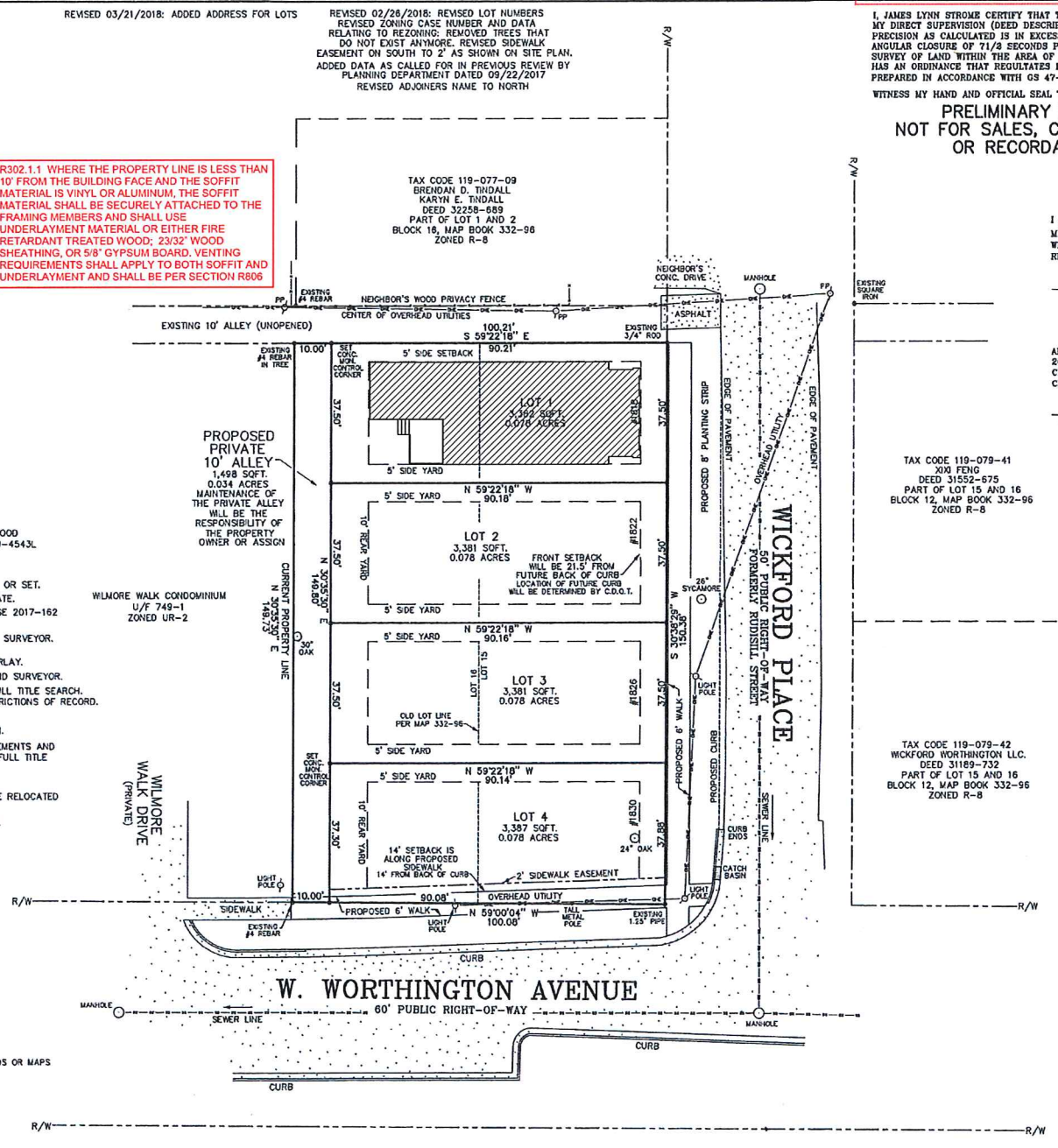
COPYRIGHT © 2017
A STROME LAND SURVEYING CO.



- NOTES:**
- THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD ZONE PER GIS WEB SITE. ALSO SEE FORM MAP #3710-4543, DATED 09/02/2015.
 - AREA DETERMINED BY COORDINATE COMPUTATION.
 - CP DENOTES COMPUTED POINT, NO MONUMENT FOUND OR SET.
 - UNDERGROUND UTILITIES NOT LOCATED AS OF THIS DATE.
 - SETBACKS SHOWN ARE PER REZONING (UR-1) CD CASE 2017-162
 - NO GRID MONUMENTS APPEAR TO BE WITHIN 2000'.
 - A FULL TITLE SEARCH WAS NOT PERFORMED BY LAND SURVEYOR.
 - PROPERTY WAS RE-ZONED IN CASE #2017-0162
 - PROPERTY IS LOCATED IN THE HISTORIC DISTRICT OVERLAY.
 - LOCATION OF IRRIGATION SYSTEM IS UNKNOWN BY LAND SURVEYOR.
 - THIS MAP WAS DRAWN WITHOUT THE BENEFIT OF A FULL TITLE SEARCH. PROPERTY IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.
 - ONLY THE LARGER TREES WERE LOCATED THIS DATE.
 - LANDSCAPE ALONG PROPERTY LINES, OWNER UNKNOWN.
 - PROPERTY IS SUBJECT TO ANY RIGHT-OF-WAYS, EASEMENTS AND RESTRICTIONS PRIOR TO DEED BOOK 30469-385. A FULL TITLE SEARCH WAS NOT PERFORMED BY LAND SURVEYOR.
 - FIELD WORK ON 12/01/2015 AND 9/19/2016.
 - OVERHEAD UTILITY AND LIGHT POLES WILL NEED TO BE RELOCATED FOR PROPOSED 6' WALK ON SOUTH AND EAST.
 - SET #4 REBARS AT ALL LOT CORNERS UNLESS NOTED.

LEGEND:

	PROPERTY LINE
	EASEMENT LINE
	OLD LOT LINE
	FENCE LINE
	UNSURVEYED LINE PER DEEDS OR MAPS
CP	COMPUTED POINT, NO MONUMENT FOUND OR SET
APPROX.	APPROXIMATE
PP	POWER POLE
NB'S	NEIGHBOR'S
EP	EDGE OF PAVEMENT
CONC.	CONCRETE
R/W	RIGHT-OF-WAY
DP	DRAINPIPE
STAKE	EXISTING WOOD STAKE
RET.	RETAINING
C.D.O.T.	CHARLOTTE DEPARTMENT OF TRANSPORTATION



W. WORTHINGTON AVENUE

I, JAMES LYNN STROME CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY DIRECT SUPERVISION (DEED DESCRIPTION IN DEED BOOK 30469-386) THAT THE RATIO OF PRECISION AS CALCULATED IS IN EXCESS OF 1:10,000 WITH A MAXIMUM FIELD ERROR OF ANGULAR CLOSURE OF 71/2 SECONDS PER ANGLE; THAT THIS PLAN IS OF A SUBDIVISION SURVEY OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND; THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH GS 47-50 AS AMENDED.

WITNESS MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____

PRELIMINARY MAP
NOT FOR SALES, CONVEYANCE
OR RECORDATION

REVIEW OFFICER OF MECKLENBURG COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

APPROVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 20 (SUBDIVISION ORDINANCE) OF THE CITY CODE OF THE CITY OF CHARLOTTE, NORTH CAROLINA.
CHARLOTTE-MECKLENBURG PLANNING COMMISSION

PLANNING COMMISSION STAFF _____ DATE _____

TAX CODE 119-079-09
BRENDAN D. TINDALL
KARYN E. TINDALL
DEED 32258-689
PART OF LOT 1 AND 2
BLOCK 18, MAP BOOK 332-98
ZONED R-8

TAX CODE 119-079-41
XIX FENG
DEED 31592-675
PART OF LOT 15 AND 16
BLOCK 12, MAP BOOK 332-96
ZONED R-8

TAX CODE 119-079-42
WICKFORD WORTHINGTON LLC.
DEED 31189-732
PART OF LOT 15 AND 16
BLOCK 12, MAP BOOK 332-96
ZONED R-8

PROPERTY IS LOCATED IN THE CHARLOTTE HISTORIC DISTRICT

PROPERTY AREA IS 16,029 SQFT.
0.345 ACRES

NEW ZONING PER CASE 2017-162
UR-1 (CO)
MINIMUM LOT SIZE: 3,000 SQFT.
SETBACKS
FRONT 21.5' FROM EXISTING OR FUTURE CURB (WICKFORD PLACE)
14' FROM EXISTING CURB (WORTHINGTON AVENUE)
SIDE: 5'
REAR: 10'
MAXIMUM BUILDING HEIGHT IS 40'
MINIMUM LOT WIDTH IS 35'

RECORD PLAT OF
WICKFORD PLACE
 NOW OR FORMERLY THE PROPERTY OF:
 RCMC LLC. (OWNER)
 1816 WICKFORD PLACE
 DEED BOOK 30469-385
 LOT 15 AND 16 BLOCK 16 OF WILMORE
 SECTION 1 AS SHOWN ON MAP BOOK 332-98
 TAX CODE 119-077-08
 MECKLENBURG COUNTY
 CHARLOTTE, NORTH CAROLINA
 AUGUST 8, 2017 REVISED FEBRUARY 26, 2018
 File name: C:\EPW\113\WORTH JOB# 2150266
 Scale 1" = 20'

M S J D R A F T I N G
 1871 FORBES ROAD
 CHARLOTTE, NORTH CAROLINA
 (704) 758-8844
 (704) 758-1120
 TELEPHONE
 FAX

R. ALLEN
 CONSTRUCTION

A NEW RESIDENCE AT:
WILMORE #1
 CHARLOTTE, NC

PROJECT NO.	WILMORE01	
DATE:	JUNE 21, 2016	
DRAWN BY:	MSB	
CHECKED BY:	MSB	
REVISIONS:		
NO.	DATE:	BY:
COURTESY REFERENCE NUMBER		WILMORE0101 .125
SHEET NO.		C1.0 of 4


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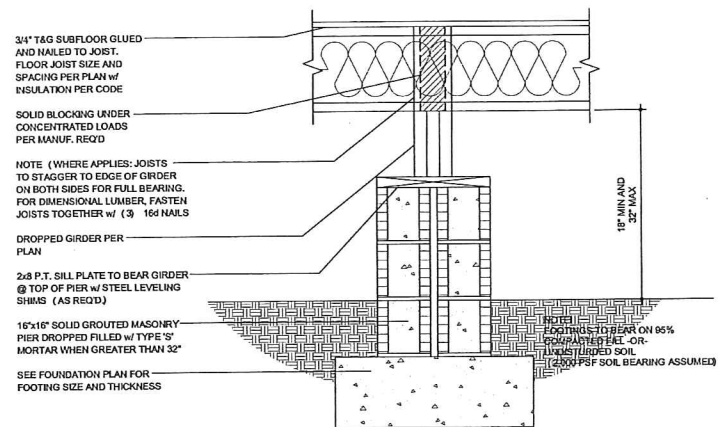


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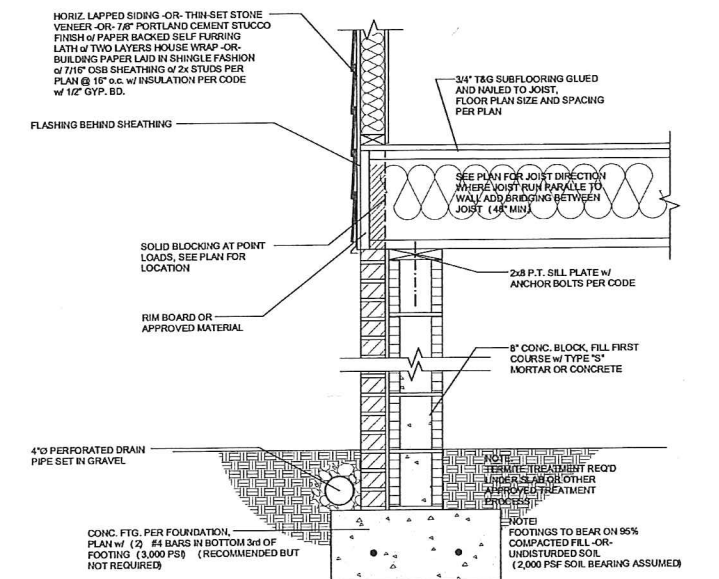
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Residential Structures, P.C.
 Engineering and Design
 Charlotte: 704-332-5460
 Charleston: 843-406-7174
 Myrtle Beach/Florence: 704-301-9521
 www.residentialstructurespc.com



FOUNDATION DETAIL @ DROPPED GIRDER 1" = 1'-0"

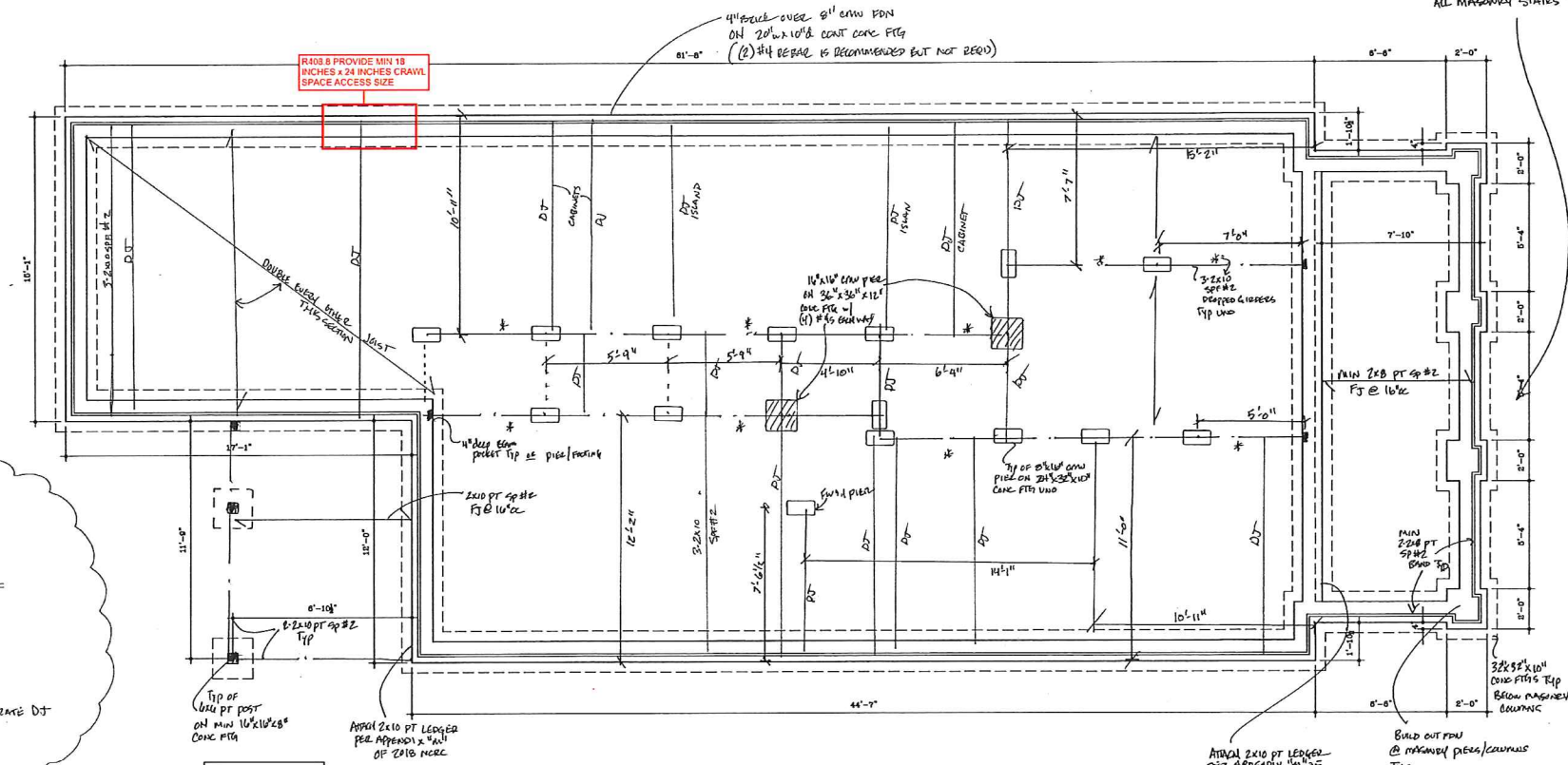


FOUNDATION DETAIL @ TYP. EXTERIOR WALL 1" = 1'-0"

- FOUNDATION NOTES:**
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST ARCHITECTURAL PLANS.
 - TRANSFER ALL POINT LOADS ABOVE TO FOUNDATION WITH AN EQUAL NUMBER OF STUDS.
 - ALL CONCRETE TO BE 3000 PSI (MIN).
 - ALL SOIL TO HAVE 2000 PSF BEARING CAPACITY (MIN).
 - SEE DETAILS FOR FOUNDATION SIZE AND REINFORCING.
 - ALL FOOTINGS TO BEAR MIN. 12" BELOW GRADE (TYP).

* CONCRETE SHALL (3000 PSI) W/ 4#-10/10 NAILS OR REINFORCING OVER 8" DIA. P.V.S. OF TONITE TREATED SOIL. W/ MIN BEARING CAPACITY (3000 PSF).

2x10 SPF#2 FLOOR JOIST @ 16" o.c. TYP. UNO (SEE PLAN)
 (2-2x10 PERIMETER BAND TYP)
 DJ - DOUBLE JOIST (TYP BELOW PARALLEL WALLS OF 5FT LENGTH OR GREATER (SEE SEPARATION DETAIL FOR TRADE CLEARANCES))



FOUNDATION PLAN 1/4" = 1'-0"

A NEW RESIDENCE AT:
WILMORE #1
 CHARLOTTE, NC

REV.	DATE	DESCRIPTION
DESIGNER:		PRS
SCALE:		
DATE:		
SHEET:	S2	



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06/17/2019

- 1ST FLOOR FRAMING NOTES:**
- ALL EXTERIOR WALLS TO BE SHEATHED w/ 5/8" OSB ATTACHED TO FRAMING w/ 8d NAILS AT 16" O.C. EDGE AND 12" O.C. FIELD. PROVIDE BLOODING AT ALL PANEL JOINTS.
 - ALL INT./EXT. LOAD BEARING WALL HEADERS TO BE 2-2X10@16" O.C. w/ (1) JACK @ EACH END UNLESS SHOWN OTHERWISE.
 - ALL EXTERIOR WALL HEADERS TO HAVE (1) KING FOR EVERY 3 FEET OF OPENING @ E.E. UNLESS SHOWN OTHERWISE.
 - ADD 1/4" EXTRA JOIST/TRUSS UNDER ALL PARALLEL PARTITION WALLS.
 - D.J. = DOUBLE JOIST
 - BRACE ALL PORT LOADS FROM ABOVE THROUGH THE FIRST FLOOR w/ AN EQUAL AMOUNT OF STUD MATERIAL.
 - ALL HEADERS NOTED TO BE PORTAL FRAMED PER METHOD "P" SHALL BE IN ACCORDANCE w/ THE PROVISIONS OF THE 2018 NCRC.
 - ALL WALLS NOTED TO BE SHEATHED PER METHOD "OSB" SHALL BE SHEATHED ON BOTH SIDES w/ 5/8" OSB ATTACHED TO FRAMING w/ 8d NAILS @ 16" O.C. ALONG THE EDGES AND IN THE FIELD.
 - ATTACH LVL'S w/ (2) ROWS OF 16d NAILS @ 12" O.C. FROM EACH FACE UNLESS SHOWN OTHERWISE.
 - NUMBER OF STUDS, STUDS TO BE SAME SIZE AS ASSOCIATED WALL FRAMING STUDS.
 - 1/4" E.E. = # of jack studs and # of king studs at each end of header.
 - 2x8 (SPF #2) @ 16" O.C. UNLESS SHOWN OTHERWISE.
 - 2x8 (SPF #2) @ 16" O.C. UNLESS SHOWN OTHERWISE.
 - 11-2" PR-40 JOISTS @ 16" O.C. UNLESS SHOWN OTHERWISE.

WALL BRACING

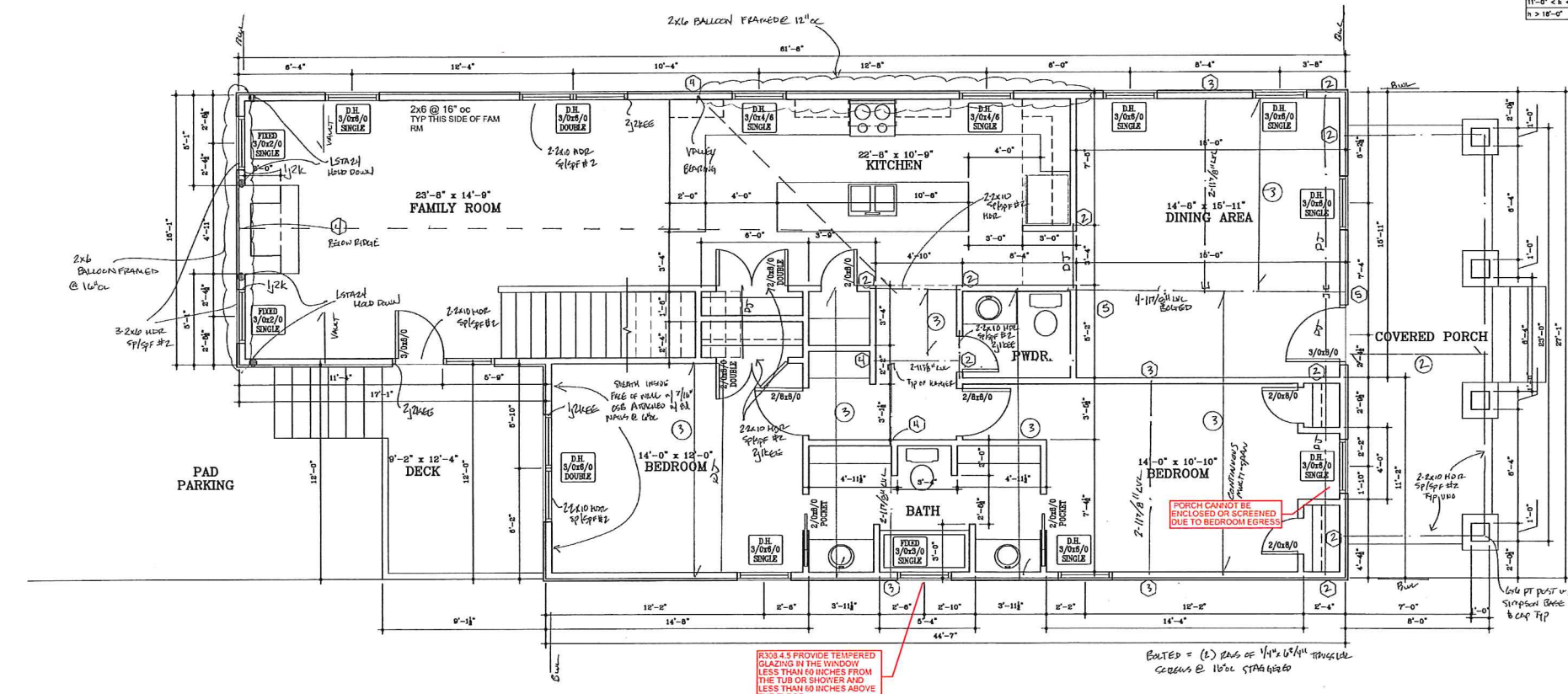
- WIND BRACING NOTES:**
- 115 MPH WIND ZONE w/ EXP "B"
 - BWL = BRACED WALL LINE, METHOD CS-WSP (U.N.O.)
 - THE ENGINEERED BRACED WALL DESIGN MEETS OR EXCEEDS THE INTENT OF THE 2018 NCRC. INSTALL CONTINUOUS 7/16" OSB w/ ED NAILS AT 6" OC AT PERIMETER AND 12" OC AT INTERMEDIATE SUPPORTS.

TYPICAL HANGERS

MEMBER	HANGER
2x8	LUS28
2x10	LUS210
2x12	LUS212
(2) 2x8	HUS28-2
(2) 2x10	HUS210-2
(2) 2x12	HUS212-2
(2) 2x8	LUS28-3
(2) 2x10	LUS210-3
(2) 2x12	LUS212-3
(2) 1x4 / (2) 1x6 L.M.	HUS410
(2) 1x4 / (2) 1x6 / (2) 1x8 L.M.	HUS414
(2) 1x4 L.M.	HUS550/70
(2) 1x4 / (2) 1x6 / (2) 1x8 L.M.	HUS550/74
(2) 1x4 L.M.	HUS725/70
(2) 1x4 L.M.	HUS725/72
(2) 1x4 / (2) 1x6 / (2) 1x8 L.M.	HUS725/74

WALL STUD REQUIREMENTS

EXT. WALL HT. (h)	STUD SIZE AND SPACING
h < 10'-0"	2x4 @ 16" (O.C.)
10'-0" < h < 11'-0"	2x4 @ 12" (O.C.)
11'-0" < h < 18'-0"	2x6 @ 16" (O.C.)
h > 18'-0"	CONSULT ENGINEER



LOWER LEVEL PLAN

1/4" = 1'-0"

RESIDENTIAL STRUCTURES, P.C.
Engineering and Design
Charlotte: 704-332-5460
Charlotte: 843-406-7174
Myrtle Beach/Florence: 704-301-9521
www.residentialstructurespc.com

SETH J. WHEELER
Professional Engineer
No. 3225


RESIDENTIAL STRUCTURES, P.C.
Professional Engineer
No. 3225

45 RESIDENTIAL STRUCTURES, P.C.
2410 N. Davidson St.
Charlotte, NC 28203
State Fire Structural Unit

A NEW RESIDENCE AT:
WILMORE #1
CHARLOTTE, NC

REV.	DATE	DESCRIPTION
DESIGNER:		PRS
SCALE:		
DATE:		

SHEET:
S3


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PROJECT
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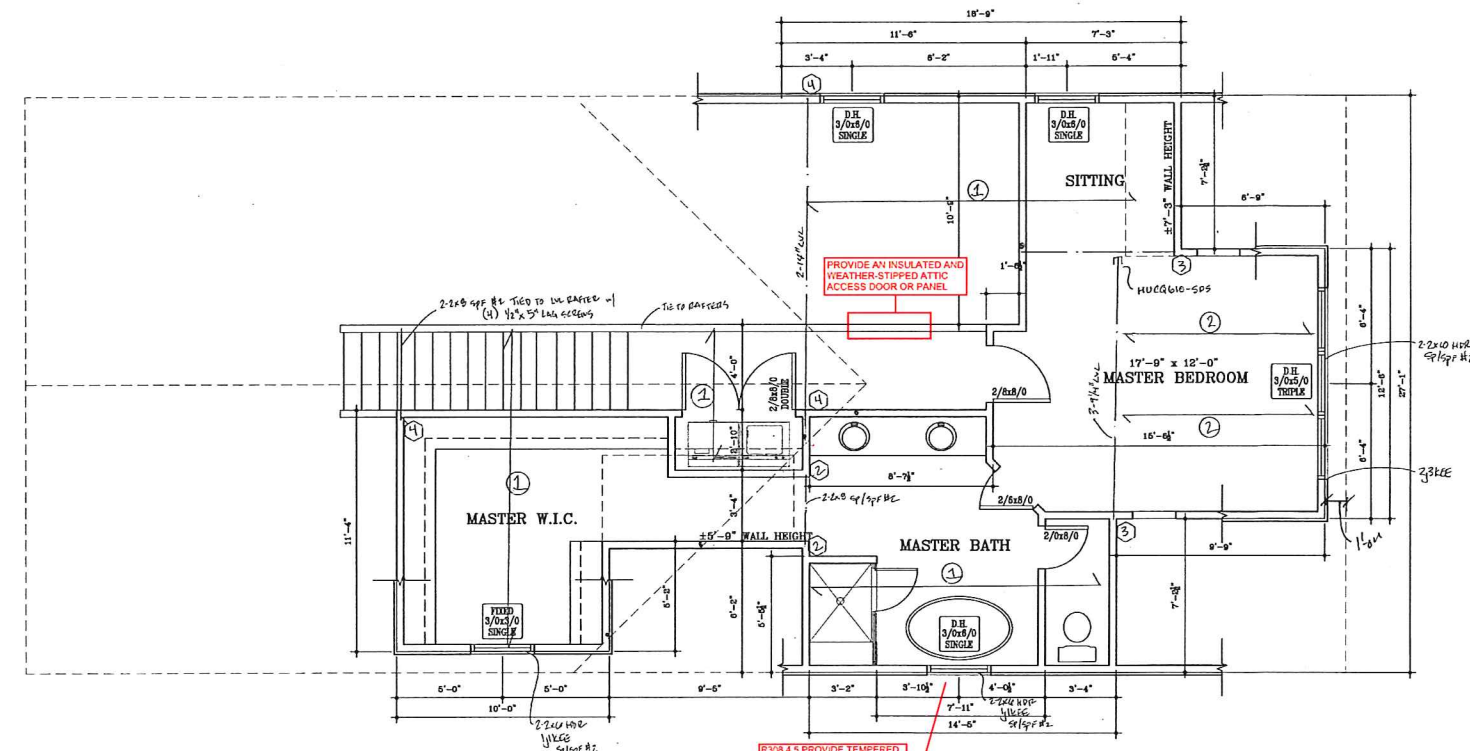
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- 2ND FLOOR CEILING FRAMING NOTES:**
- ALL EXTERIOR WALLS TO BE WEATHERED w/ 4" OSB ATTACHED TO FRAMING w/ 6# NAILS AT 8" O.C. EDGE AND 12" O.C. FIELD. PROVIDE BLOODING AT ALL PANEL SPICES.
 - ALL INT./EXT. LOAD BEARING HEADERS TO BE 2-2X8 U.L.G. w/ (1) JACK AT EACH END U.L.G.
 - ALL EXTERIOR HEADERS TO HAVE (1) KING PER EVERY 3 FEET OF OPENING @ EACH END.
 - AT CURB LINES, CEILING JOISTS TO BE NAILED TO RAFTERS w/ (6)10# NAILS U.L.G.
- (1) = NUMBER OF STUDS. STUDS TO BE SAME SIZE AS ASSOCIATED WALL FRAMING STUDS.
 #JA@E.E. = # of jck studs @ E of # of King studs at each end of header.
 (1) = 2X8 (DFF #2) CEILING JOISTS @ 16" O.C. U.L.G.
 (2) = 2X8 (DFF #2) @ 16" O.C. U.L.G.

NOTE: THE WALL BRACING FOR THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE INTENT OF THE 2018 IBC.

TYPICAL HANGERS	
MEMBER	HANGER
2X8	LUS28
2X10	LUS210
2X12	LUS212
(2) 2X8	HUS28-2
(2) 2X10	HUS210-2
(2) 2X12	HUS212-2
(3) 2X8	LUS28-3
(3) 2X10	LUS210-3
(3) 2X12	LUS212-3
(2) 2X8 / (2) 11" L.M.	HUS210
(2) 14" / (2) 14" / (2) 14" L.M.	HUS244
(2) 9" L.M.	HUS55.50/10
(2) 11" L.M.	HUS55.50/12
(2) 14" / (2) 14" / (2) 14" L.M.	HUS55.50/14
(2) 9" L.M.	HUS57.25/10
(2) 11" L.M.	HUS57.25/12
(2) 14" / (2) 14" / (2) 14" L.M.	HUS57.25/14

WALL STUD REQUIREMENTS	
EXT. WALL HT. (h)	STUD SIZE AND SPACING
h < 10'-0"	2X8 @ 16" (O.C.)
10'-0" < h < 11'-0"	2X8 @ 12" (O.C.)
11'-0" < h < 12'-0"	2X8 @ 16" (O.C.)
h > 12'-0"	CONSULT ENGINEER



UPPER LEVEL PLAN

1/4" = 1'-0"



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RESIDENTIAL STRUCTURES, P.C.
 3410 N. Davidson St.
 Charlotte, NC 28205
 Seal For Structures Only

A NEW RESIDENCE AT:
WILMORE #1
 CHARLOTTE, NC

REV.	DATE	DESCRIPTION
DESIGNER:		PRS
SCALE:		
DATE:		
SHEET:	S4	


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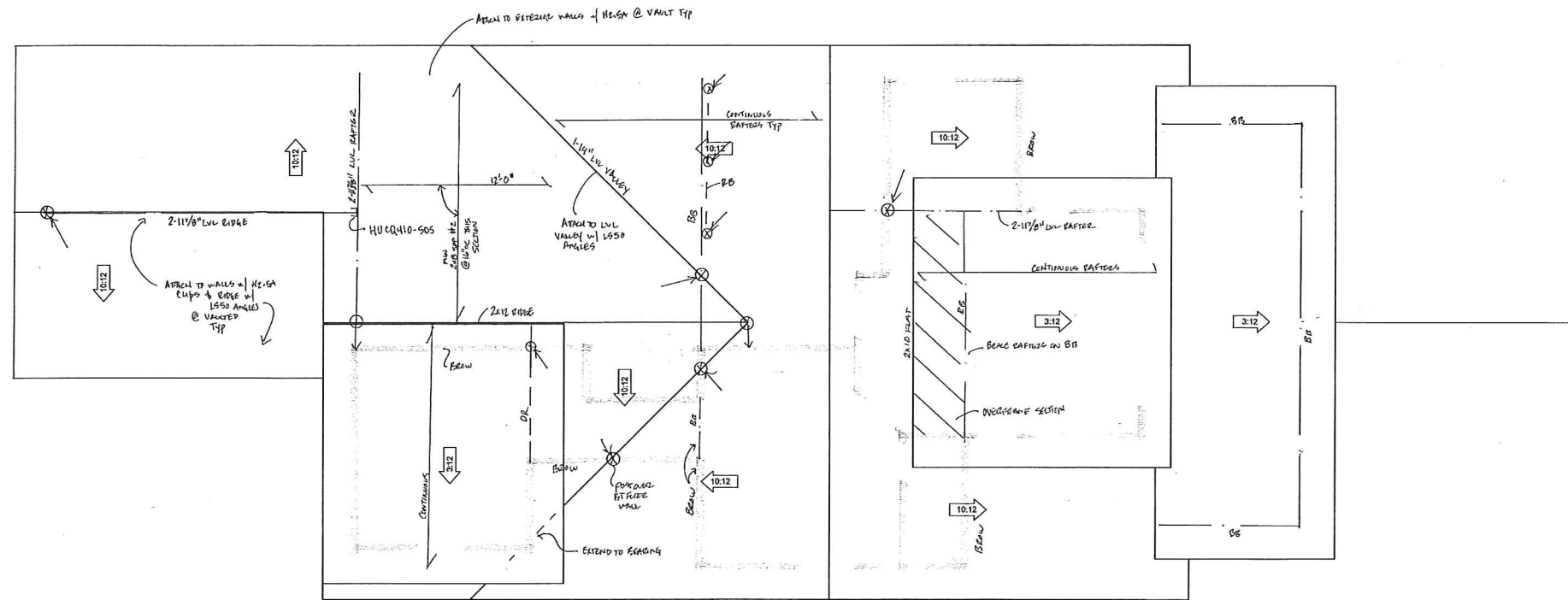


MECKLENBURG COUNTY
 CODE ENFORCEMENT
 The Design In These Construction Documents Have Been Reviewed For Compliance With The State Building Code. It Is The Responsibility Of The Contractor To Construct This Project With Good Engineering Practice And In Compliance With The North Carolina State Building Code.

PROJECT
397188

APPROVED AS NOTED
 A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS AUTHORIZATION SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS.
PLANS REVIEWED BY:
 Joseph Sandridge
 06/17/2019

- ROOF NOTES**
1. ALL RAFTERS TO BE 2x10's (SPF #2) @ 16" O.C. U/L/O
 2. ALL RIDGES TO BE 2x10's (SPF #2) U/L/O
 3. ALL HIP'S AND VALLEYS TO BE 2x10's (SPF #2) U/L/O
 4. D.R. = DOUBLE RAFTER
 5. T.R. = TRIPLE RAFTER
 6. R.B. = RAFTER BRACE (2-2X6)
 7. S.B. = SEAM BELOW
- [Symbol] = AREA TO BE OVERFRAMED
 [Symbol] = ROOF BRACE POINT AND BRACE TO POINT
 [Symbol] = BRACE ROOF ON WALL
 [Symbol] = NUMBER OF STUDS, STUDS TO BE SAME SIZE AS ASSOCIATED WALL FRAMING STUDS
 ROOF TO PROVIDE 2 LAYERS UNDERLAYMENT ON ROOF WITH 2:12 SLOPE UP TO 4:12 SLOPE WHERE ASPHALT SHINGLES ARE USED



ROOF PLAN

1/4" = 1'-0"



Residential Structures, P.C.
 Engineering and Design
 Charlotte: 704-332-5460
 Charleston: 843-406-7174
 Myrtle Beach/Florence: 704-301-9521
 www.residentialstructurespc.com



RESIDENTIAL STRUCTURES, P.C.
 3416 N. Davidson St.
 Charlotte, NC 28206
 Equal Opportunity Employer

A NEW RESIDENCE AT:
WILMORE #1
 CHARLOTTE, NC

REV.	DATE	DESCRIPTION
DESIGNER:		PRS
SCALE:		
DATE:		
SHEET:	S5	


APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 HDCRMA - 2019 - 00363



**MECKLENBURG COUNTY
 CODE ENFORCEMENT**
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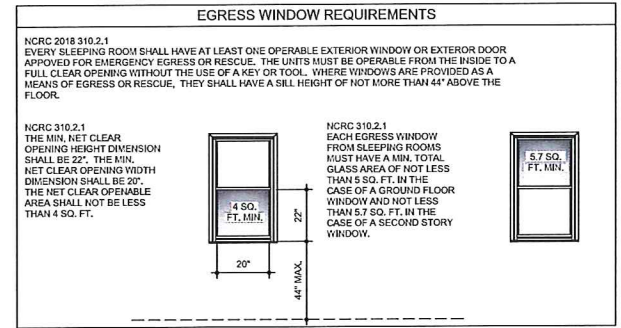
**PROJECT
 # 397188**
 APPROVED AS NOTED
 A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS AUTHORIZATION SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS.
 PLANS REVIEWED BY:
 Joseph Sandridge
 06/17/2019

M S J D R A F T I N G
 1871 POUCHER ROAD
 LINCOLTON, NORTH CAROLINA
 (704) 738-1844
 (704) 738-1720
 TELEPHONE
 FAX

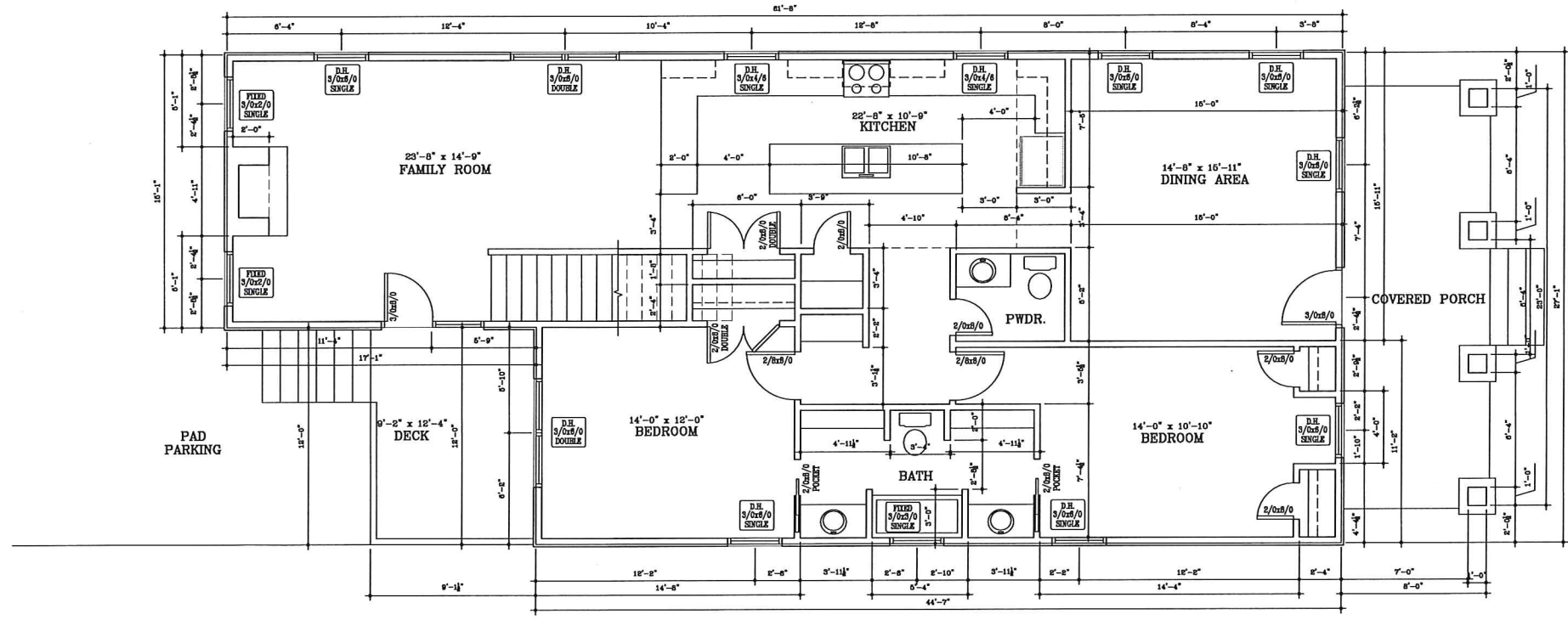
**R. ALLEN
 CONSTRUCTION**

A NEW RESIDENCE AT:
WILMORE #1
 CHARLOTTE, NC

PROJECT NO.	WILMORE01	
DATE	JUNE 21, 2019	
DRAWN BY:	MSB	
CHECKED BY:	MSB	
REVISIONS:		
NO.	DATE	BY
COMPUTER REFERENCE NUMBER	WILMORE0101 .125	
SHEET NO.	A1.0	

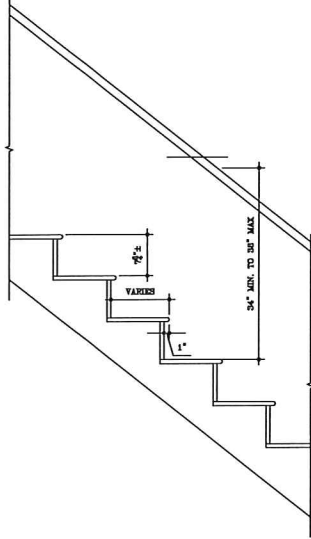


MAIN LEVEL	
HEATED SQUARE FOOT	1,615 SQ. FT.
DECK	112 SQ. FT.
COVERED FRONT PORCH	185 SQ. FT.
UPPER LEVEL	
HEATED SQUARE FOOT	647 SQ. FT.
TOTAL	
HEATED SQUARE FOOT	2,262 SQ. FT.
UNHEATED SQUARE FOOT	297 SQ. FT.



101 LOWER LEVEL PLAN
 A1.0

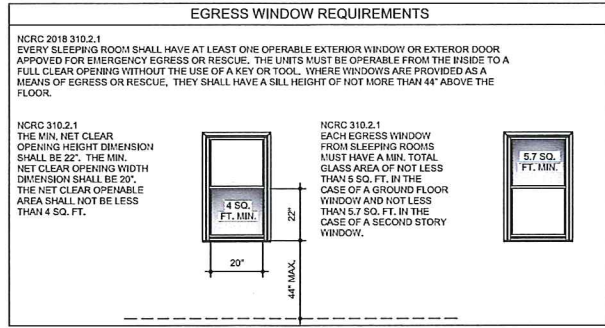
1/4" = 1'-0"



102 TYP. STAIR DTL. 3/4" = 1'-0"
A1.1

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Charlotte
Historic District
Commission
Certificate of Appropriateness
HDC/EMA - 2019 - 00363



MAIN LEVEL	
HEATED SQUARE FOOT	1,615 SQ. FT.
DECK	112 SQ. FT.
COVERED FRONT PORCH	163 SQ. FT.
UPPER LEVEL	
HEATED SQUARE FOOT	647 SQ. FT.
TOTAL	
HEATED SQUARE FOOT	2,282 SQ. FT.
UNHEATED SQUARE FOOT	297 SQ. FT.



**MECKLENBURG COUNTY
CODE ENFORCEMENT**

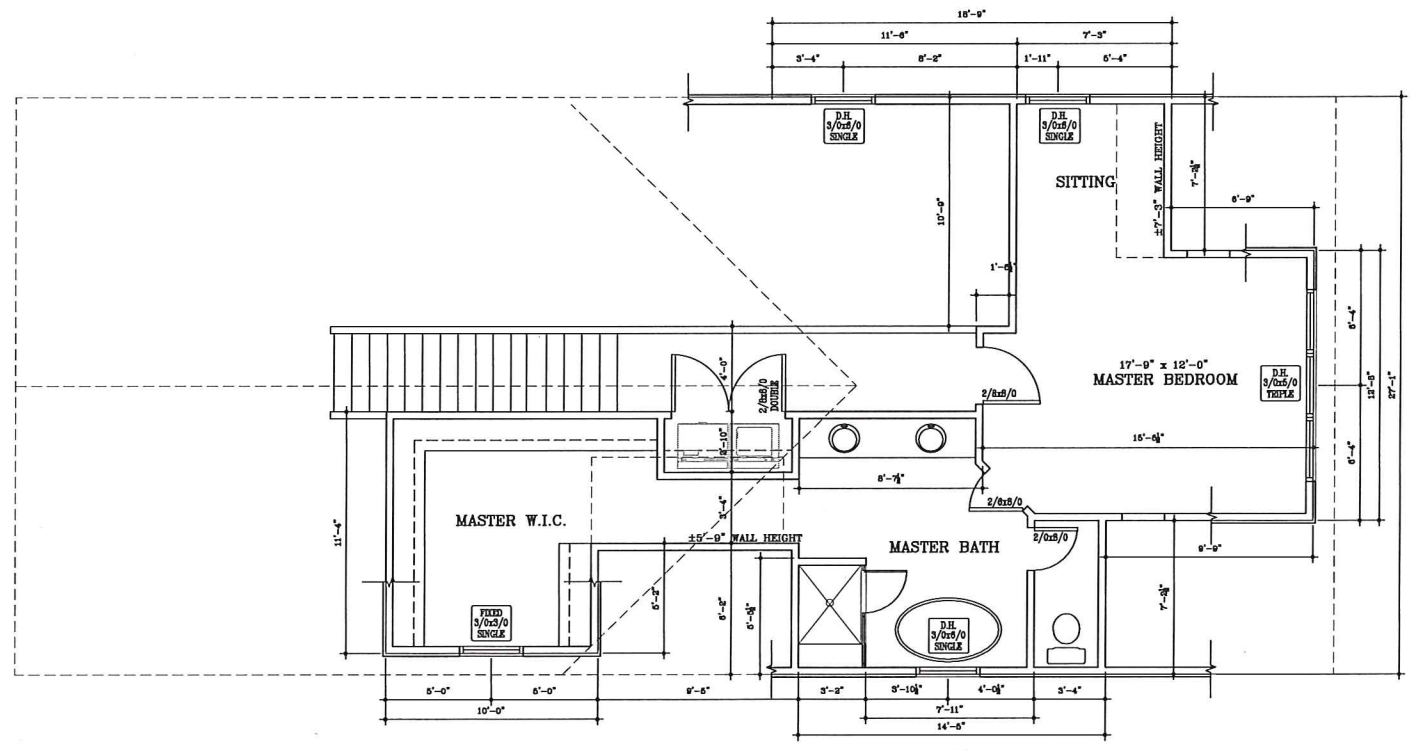
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**PROJECT
397188**

APPROVED AS NOTED

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PLANS REVIEWED BY:
Joseph Sandridge
06/17/2019



101 UPPER LEVEL PLAN
A1.1

1/4" = 1'-0"

M S J D R A F T I N G

1871 POULCHER ROAD
LINCOLTON, NORTH CAROLINA

TELEPHONE (704) 756-8844
FAX (704) 756-1720

R. ALLEN

CONSTRUCTION

A NEW RESIDENCE AT:
WILMORE #1
CHARLOTTE, NC

PROJECT NO.	WILMORE01
DATE	JUNE 21, 2016
DRAWN BY:	MSB
CHECKED BY:	MSB
REVISIONS:	
NO.	DATE
BY	
COMPUTER REFERENCE NUMBER	WILMORE0101 .125
SHEET NO.	A1.1

APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness

HDCRMA-2019-00363

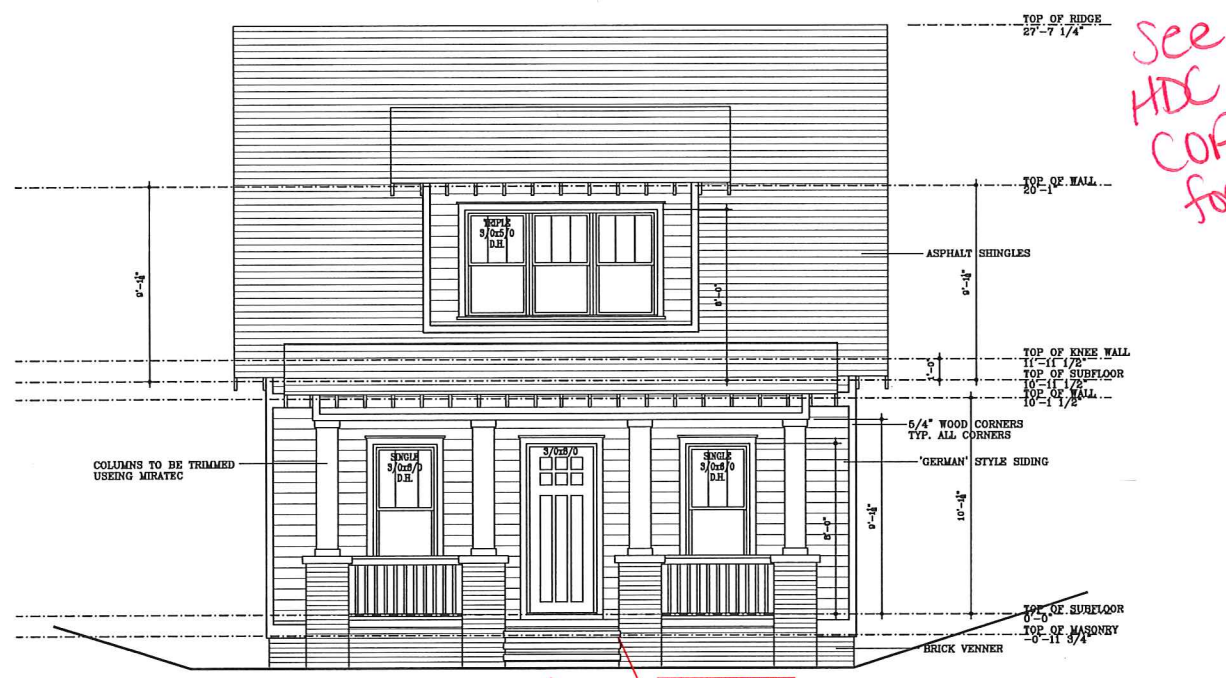


MECKLENBURG COUNTY
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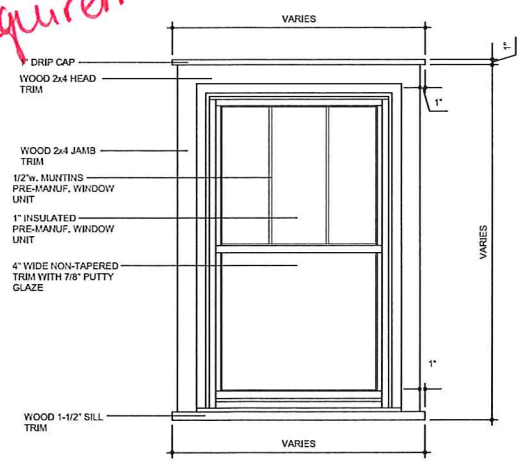
PROJECT
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 A LIMITED REVIEW FOR COMPLIANCE WITH THE 2018 NC RESIDENTIAL CODE. THIS AUTHORIZATION SHALL NOT BE CONSTRUED TO PERMIT ANY VIOLATIONS OF LOCAL, STATE, OR FEDERAL LAWS.
 PLANS REVIEWED BY:
 Joseph Sandridge
 06/17/2019

- ELEVATION NOTES:**
1. ALL SHINGLES ARE TO BE SELECTED BY OWNER
 2. ALL BRICK VENEER IS TO BE SELECTED BY OWNER
 3. ALL GERMAN STYLE SIDING IS TO BE SELECTED BY OWNER
 4. ALL DOOR AND WINDOW STYLES ARE TO BE SELECTED BY OWNER
 5. ALL GRADE SHOWN IS PROPOSED AND IS TO BE FIELD VERIFIED BY G.C.
 6. ALL OVERHANGS ARE TO BE 1'-0" TYPICAL
 7. ALL STEPS SHOWN ARE TO ADJUST TO GRADE AS NEEDED

See
 HDC
 COA
 for
 requirements

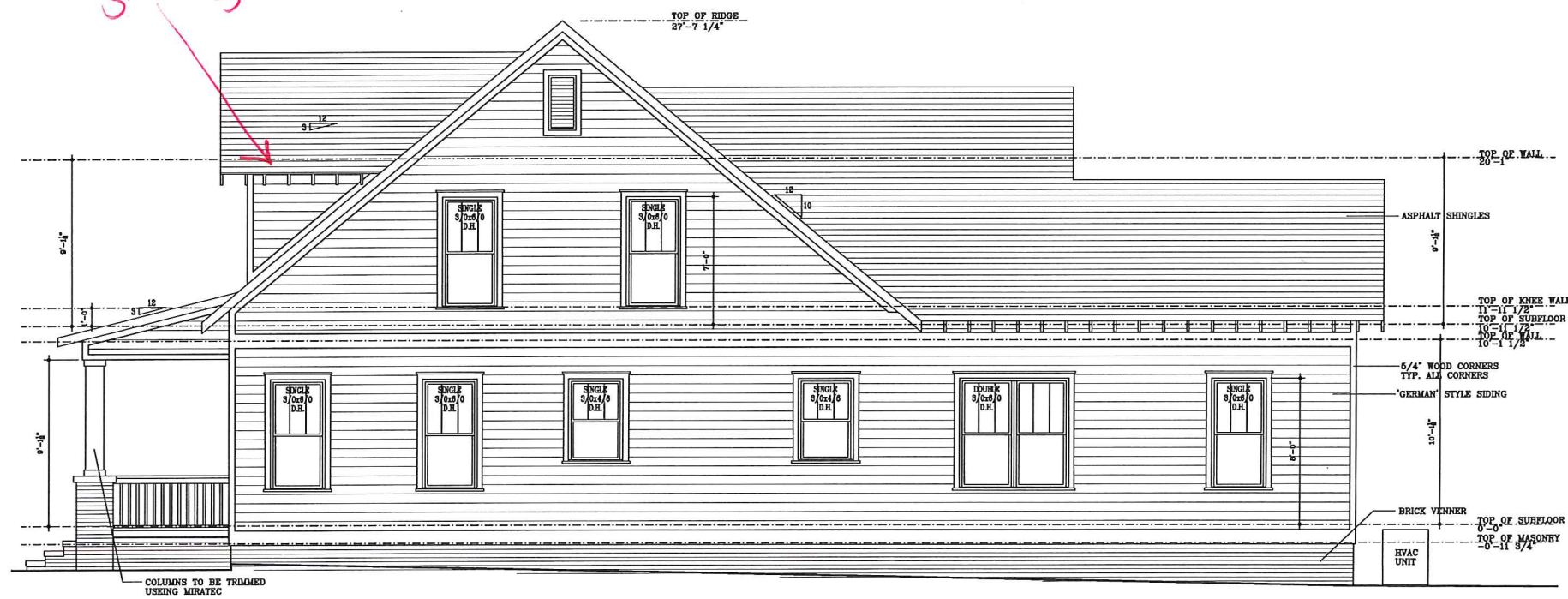


301 FRONT ELEVATION
 A3.0 1/4" = 1'-0"

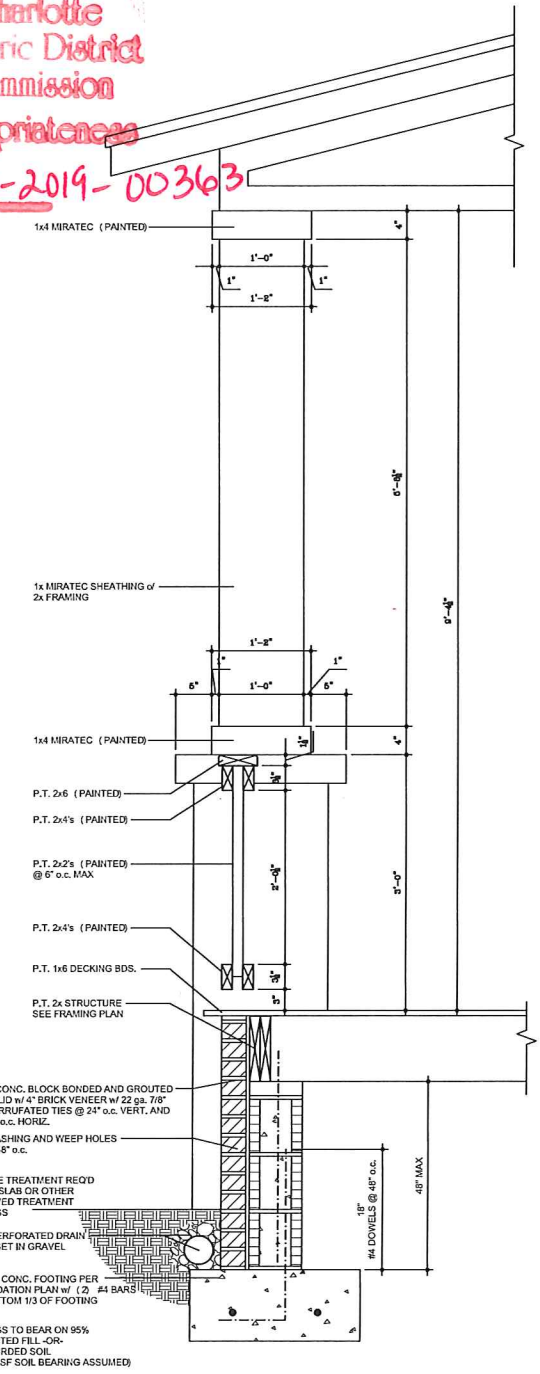


303 WINDOW TRIM DTL. TYP. 3/4" = 1'-0"

shed roof - see right - updated



302 RIGHT SIDE ELEVATION
 A3.0 1/4" = 1'-0"

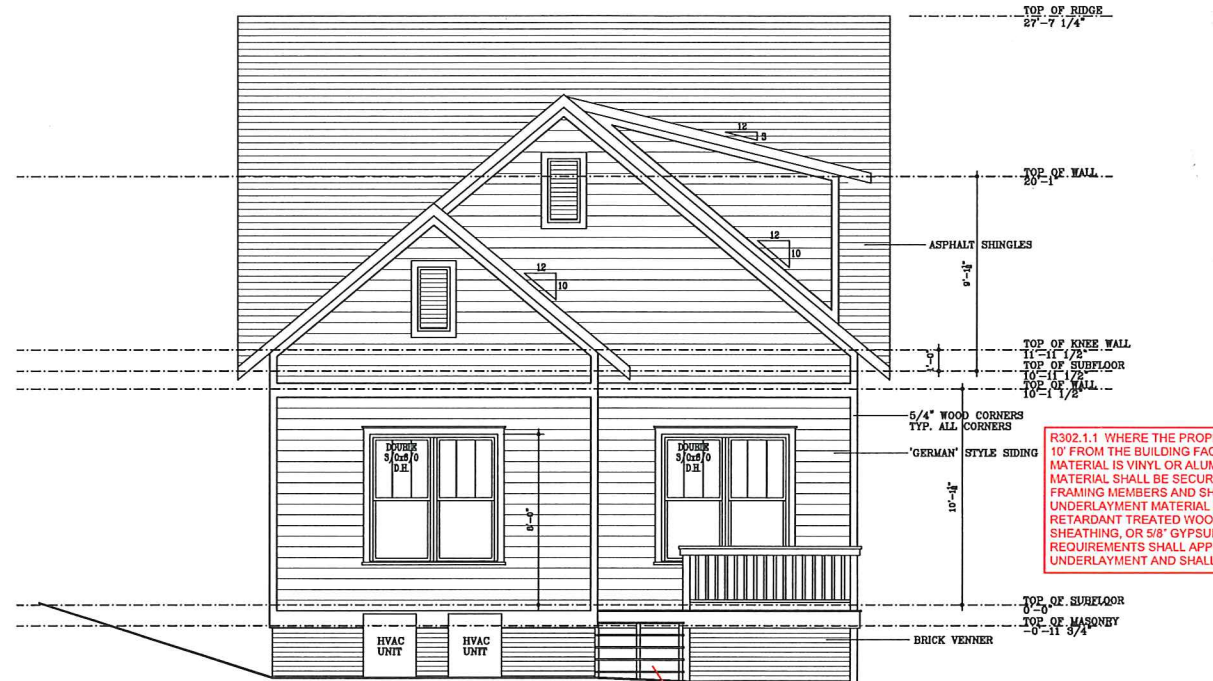


304 RAILING DETAILS
 A3.1 1" = 1'-0"

M S J D R A F T I N G
 R. ALLEN
 CONSTRUCTION
 A NEW RESIDENCE AT:
 WILMORE #1
 CHARLOTTE, NC

1871 POINCE ROAD
 LINCOLTON, NORTH CAROLINA
 TELEPHONE (704) 782-8844
 FAX (704) 785-1720

PROJECT NO. WILMORE01
 DATE: JUNE 21, 2018
 DRAWN BY: MSB
 CHECKED BY: MSB
 REVISIONS:
 NO. DATE BY
 COMPUTER REFERENCE NUMBER
 WILMORE0101 .125
 SHEET NO.
 A3.0 of 4



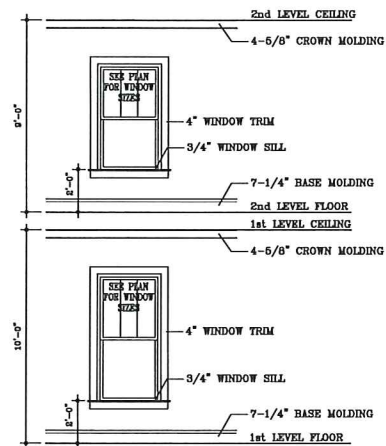
301 REAR ELEVATION
A3.1

R311.7.8 PROVIDE HANDRAIL ON STAIRS WITH 4 OR MORE RISERS ON STAIRS

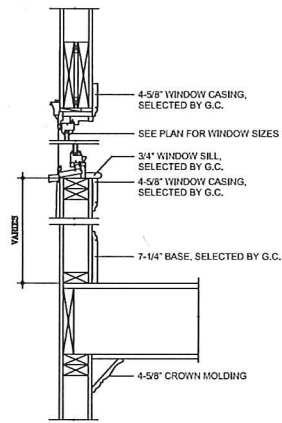
1/4" = 1'-0"

ELEVATION NOTES:

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2. ALL BRICK VENEER IS TO BE SELECTED BY OWNER
3. ALL GERMAN STYLE SIDING IS TO BE SELECTED BY OWNER
4. ALL DOOR AND WINDOW STYLES ARE TO BE SELECTED BY OWNER
5. ALL GRADE SHOWN IS PROPOSED AND IS TO BE FIELD VERIFIED BY G.C.
6. ALL OVERHANGS ARE TO BE 1'-0" TYPICAL
7. ALL STEPS SHOWN ARE TO ADJUST TO GRADE AS NEEDED



305 TRIM DETAILS
A3.1 NTS



304 TRIM DETAILS
A3.1 NTS



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Charlotte Historic District Commission
Certificate of Appropriateness

HDCRMA-2019-00303

30 YR. ARCHITECTURAL SHINGLES o/ 1 LAYER 15# FELT o/ 7/16" EXTERIOR OSB ROOF SHEATHING o/ 2x FRAMING AT 16" o.c.

AT PITCHES LESS THAN 4:12 2 LAYERS 15# FELT TO BE USED

R-30 INSULATION

WIND/UPLIFT ANCHORS SIMPSON H2.6A (TYP.)

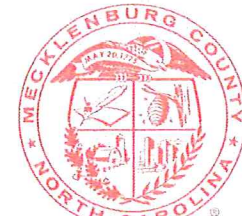
7/16" EXTERIOR GRADE PLYWOOD SHEATHING

EXPOSED TAIL

GERMAN SIDING

1'-5"

12'-10 1/2"



MECKLENBURG COUNTY CODE ENFORCEMENT

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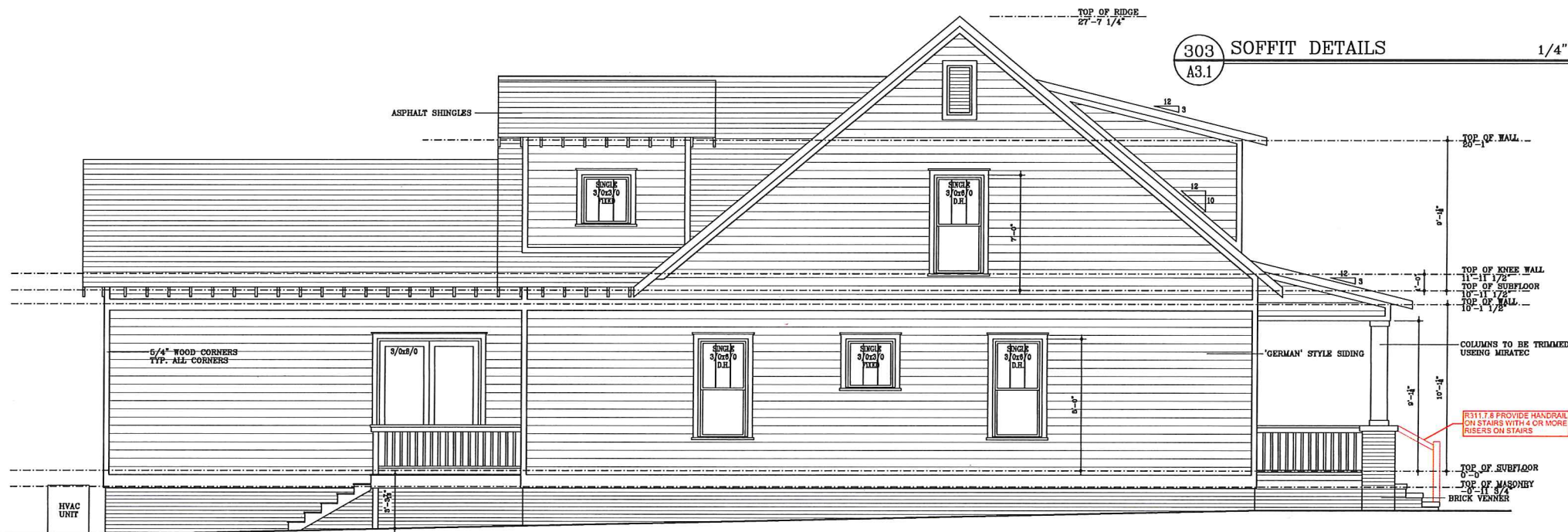
PROJECT # 397188

APPROVED AS NOTED

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PLANS REVIEWED BY:

Joseph Sandridge
06/17/2019



302 LEFT SIDE ELEVATION
A3.1

1/4" = 1'-0"

303 SOFFIT DETAILS
A3.1

1/4" = 1'-0"

MSJ DRAFTING
1871 POARCH ROAD
LINCOLNTON, NORTH CAROLINA
TELEPHONE (704) 732-8844
FAX (704) 732-1720

R. ALLEN
CONSTRUCTION

A NEW RESIDENCE AT:
WILMORE #1
CHARLOTTE, NC

PROJECT NO. WILMORE01

DATE: JUNE 21, 2018

DRAWN BY: MSB

CHECKED BY: MSB

REVISIONS:

NO. DATE BY

COMPUTER REFERENCE NUMBER WILMORE0101_125

SHEET NO.

A3.1 of 4

UPDATED ITEMS FOR LOT 1 [REDACTED] - 1818 Wickford - July 2019

1. **TREE SAVE** – attached is a letter from Barry Gemberling (Arboguard) in regard to his recommendations on how to keep the LOT 4 (Willow Oak) tree safe prior and during construction.
2. **MIRATEC** – to be installed on all columns, corners and fascia with corner boards being 5.5 inches
3. **OPEN TAILS / SOFFITS** – roof to extend 24 inches at right angle to siding, with $\frac{3}{4}$ v-groove bead board and 2x8" rafters with bed mold installed base
4. **WINDOWS** – 4" wide non-tapered trim with $\frac{7}{8}$ putty glaze, removed brick casing



#3 – Open Tail – 24" with bead board & 2x8" rafters

#4 – Window Trim – non-tapered 4"

#1 – Tree Save Letter for the Sycamore Tree

#2 – Miratec – Columns, Fascia, and Corners

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Charlotte
Historic District
Commission
Certificate of Appropriateness
HDCRMA - 2019 - 00363

1818 Wickford

WINDOW DETAIL - UPDATED - July 2019

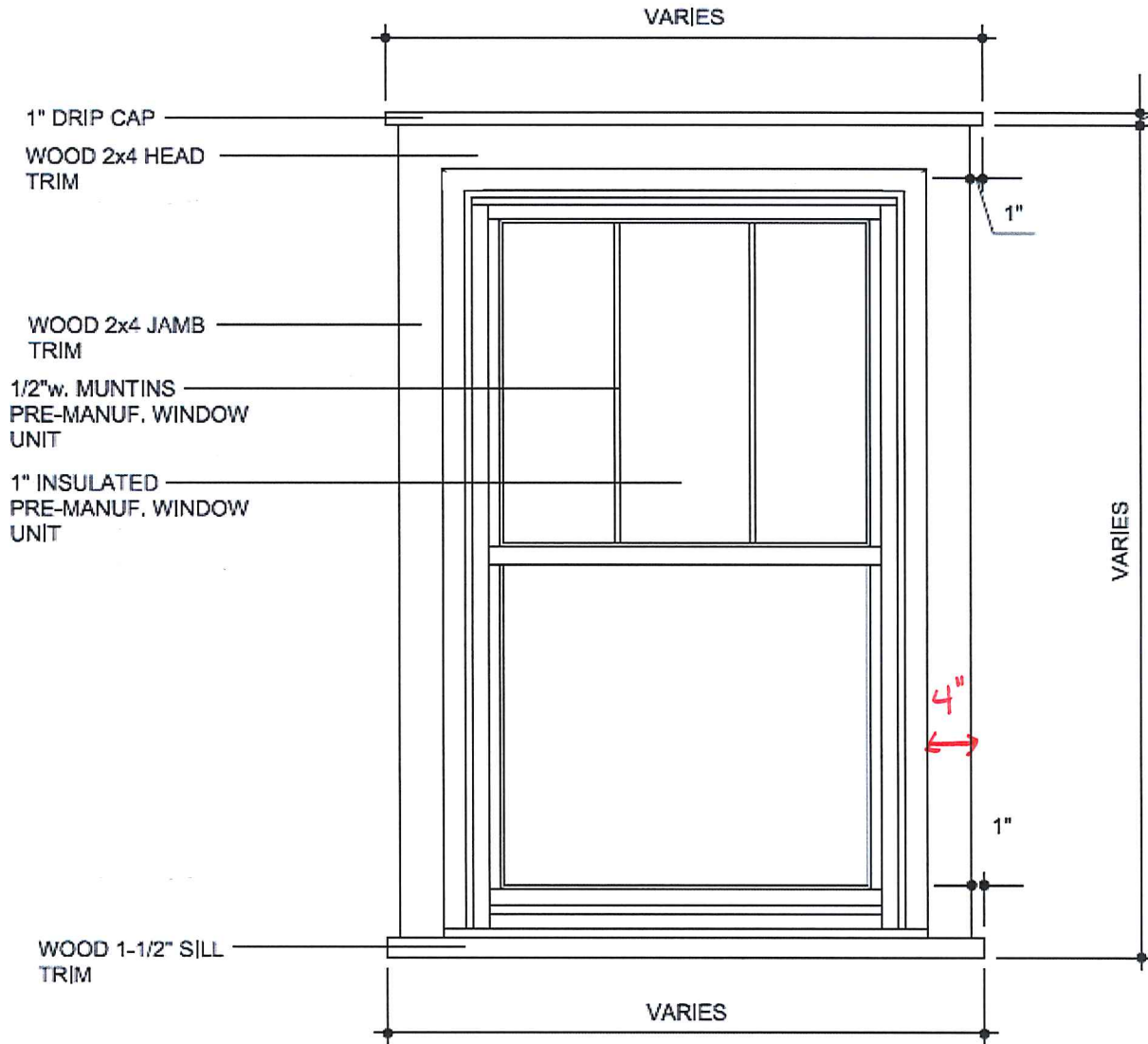


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- Use casing/trim appropriate to wood siding
- 4" wide non-tapered trim
- 7/8" putty glaze
- double hung wood
- 3-over-1 simulated true divided light

1818 Wickford
PORCH RAILING & COLUMN DETAIL

July 2019

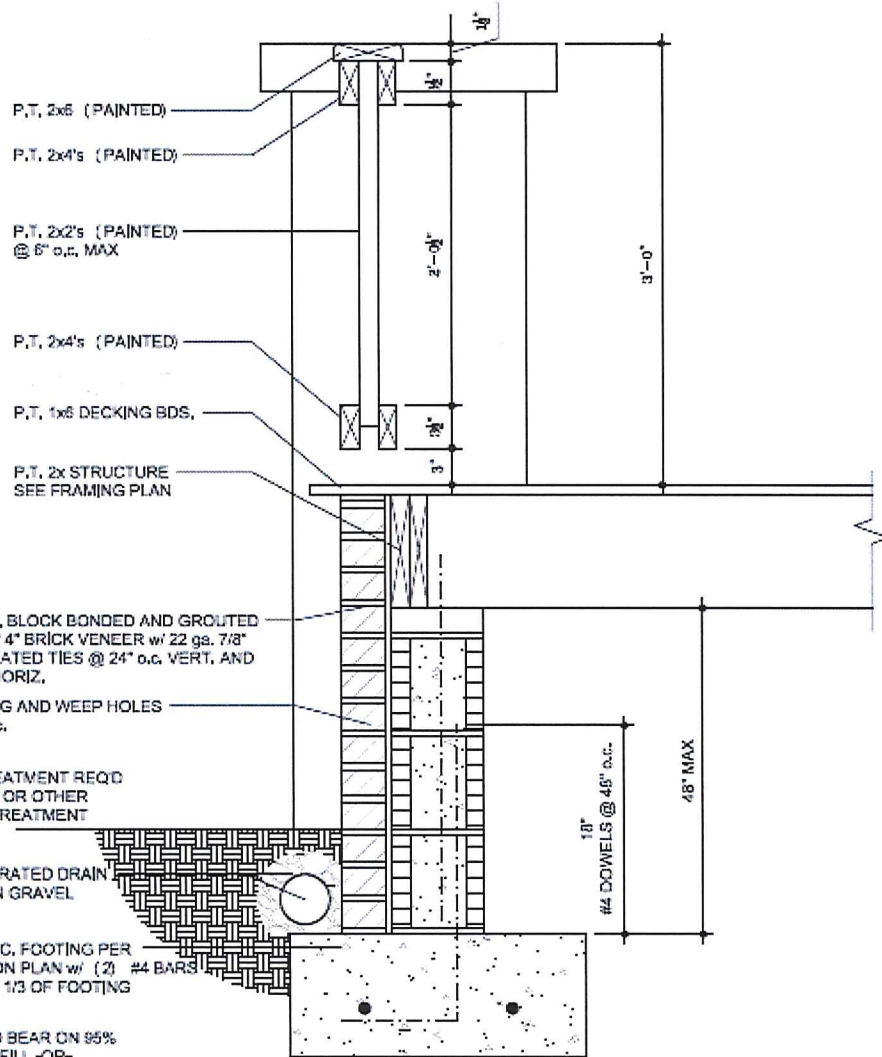


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P.T. 2x6 (PAINTED)

P.T. 2x4's (PAINTED)

P.T. 2x2's (PAINTED)
 @ 6" o.c. MAX

P.T. 2x4's (PAINTED)

P.T. 1x8 DECKING BDS.

P.T. 2x STRUCTURE
 SEE FRAMING PLAN

8" CONC. BLOCK BONDED AND GROUTED
 SOLID w/ 4" BRICK VENEER w/ 22 ga. 7/8"
 CORRUGATED TIES @ 24" o.c. VERT. AND
 16" o.c. HORIZ.

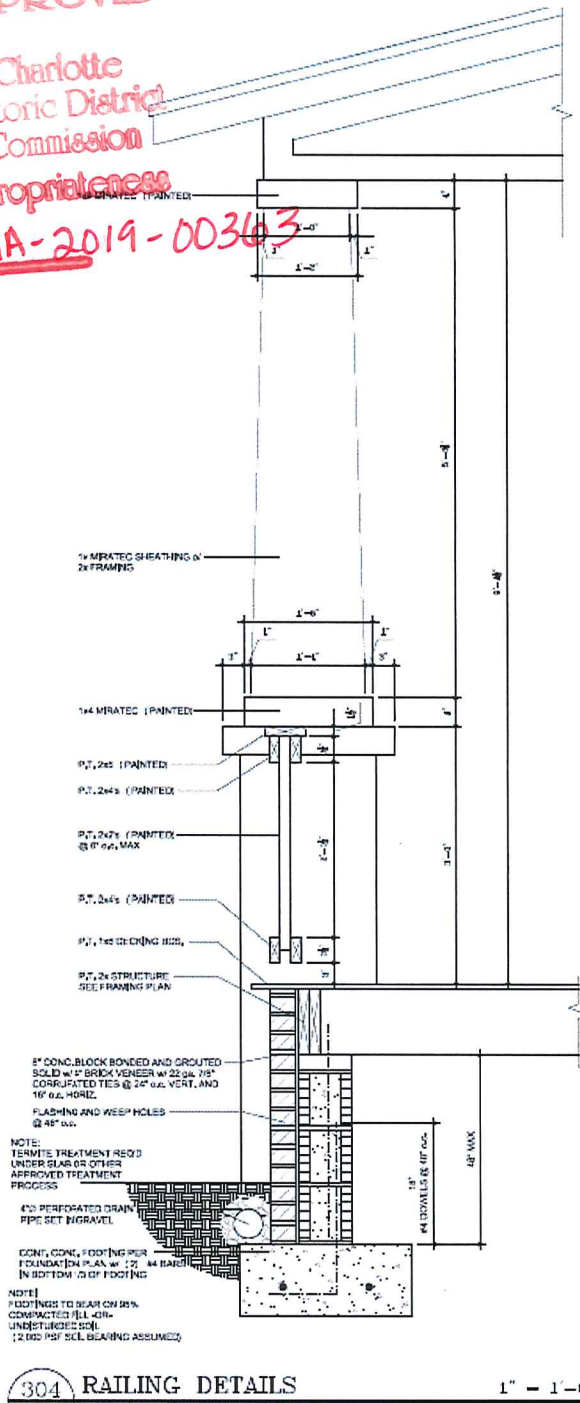
FLASHING AND WEEP HOLES
 @ 48" o.c.

NOTE:
 TERMITES TREATMENT REQ'D
 UNDER SLAB OR OTHER
 APPROVED TREATMENT
 PROCESS

4"Ø PERFORATED DRAIN
 PIPE SET IN GRAVEL

CONT. CONC. FOOTING PER
 FOUNDATION PLAN w/ (2) #4 BARS
 IN BOTTOM 1/3 OF FOOTING

NOTE!
 FOOTINGS TO BEAR ON 95%
 COMPACTED FILL -OR-
 UNDISTURBED SOIL
 (2,000 PSF SOIL BEARING ASSUMED)



1/4" MRATED SHEATHING ON
 2x FRAMING

1/4" MRATED (PAINTED)

P.T. 2x6 (PAINTED)

P.T. 2x4's (PAINTED)

P.T. 2x2's (PAINTED)
 @ 6" o.c. MAX

P.T. 2x4's (PAINTED)

P.T. 1x8 DECKING BDS.

P.T. 2x STRUCTURE
 SEE FRAMING PLAN

8" CONC. BLOCK BONDED AND GROUTED
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 CORRUGATED TIES @ 24" o.c. VERT. AND
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FLASHING AND WEEP HOLES
 @ 48" o.c.

NOTE:
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 PROCESS

4"Ø PERFORATED DRAIN
 PIPE SET IN GRAVEL

CONT. CONC. FOOTING PER
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 IN BOTTOM 1/3 OF FOOTING

NOTE!
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 COMPACTED FILL -OR-
 UNDISTURBED SOIL
 (2,000 PSF SOIL BEARING ASSUMED)

1818 Wickford

SOFFIT DETAIL – UPDATED OPEN TAIL

July 2019

30 YR. ARCHITECTURAL SHINGLES o/
1 LAYER 15# FELT o/
7/16" EXTERIOR OSB ROOF SHEATHING
o/ 2x FRAMING AT 16" o.c.

AT PITCHES LESS THAN 4:12
2 LAYERS 15# FELT TO BE USED

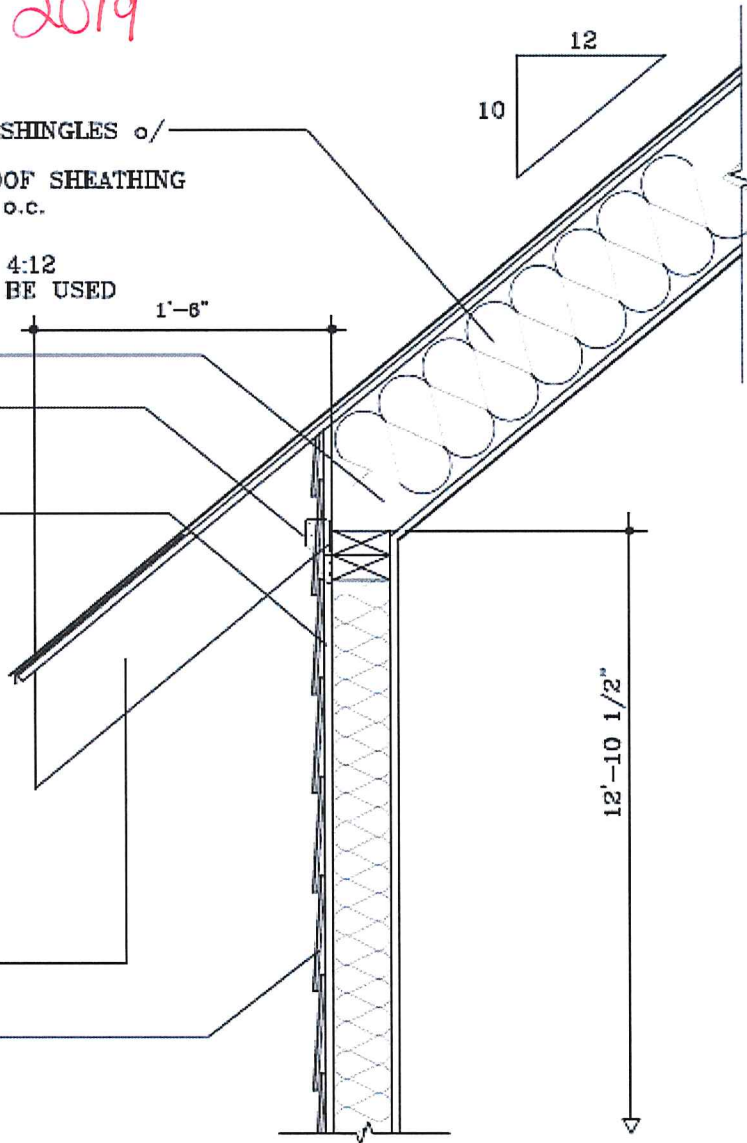
R-30 INSULATION

WIND/UPLIFT ANCHORS
SIMPSON H2.5A (TYP.)

7/16" EXTERIOR GRADE
PLYWOOD SHEATHING

EXPOSED TAIL

GERMAN SIDING



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Certificate of Appropriateness

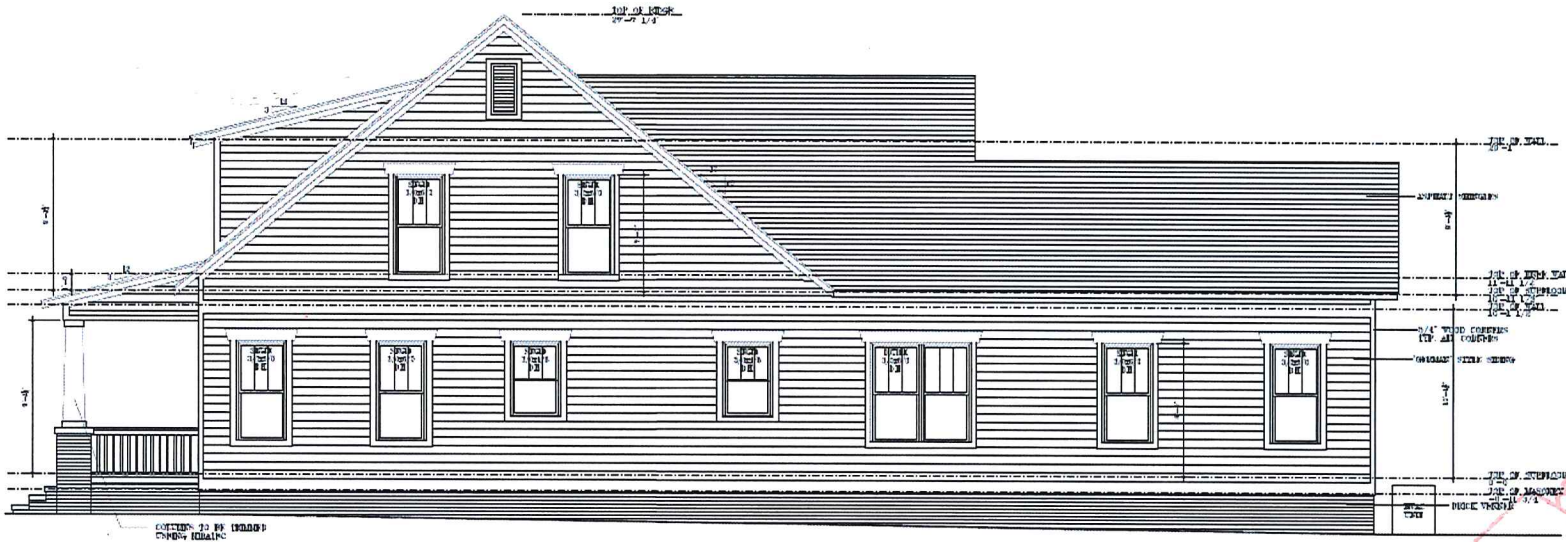
HDCRMA-2019-00363

- roof overhang to be 24" - measured at a right angle to siding.
- 2x8" barge rafters with bed mold installed base

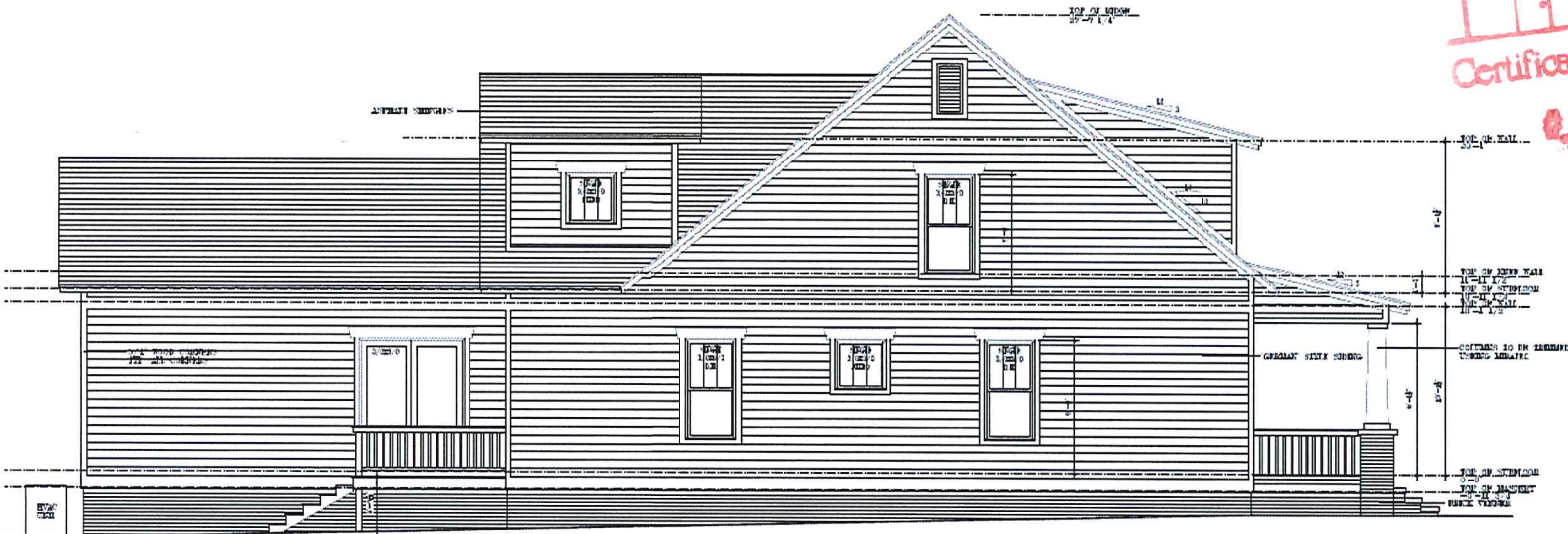
1818 Wickford

RIGHT (UPDATED)

- July 2019



LEFT (UPDATED)



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Historic District
Commission

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HDCRMA-2019-
00363

1818 Wickford

STREET SURVEYS

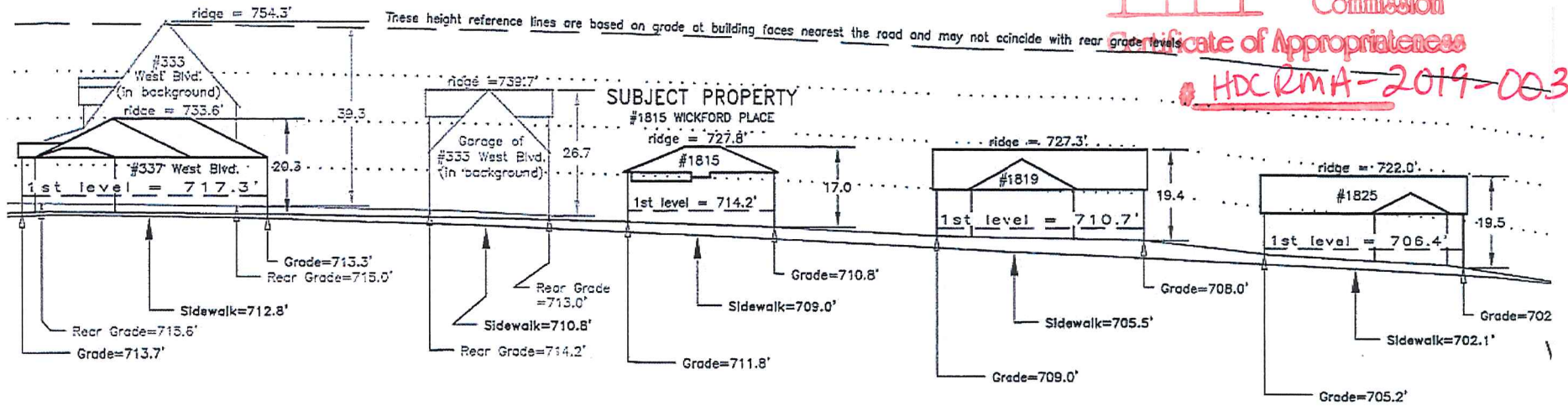
- July 2019



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Charlotte
Historic District
Commission

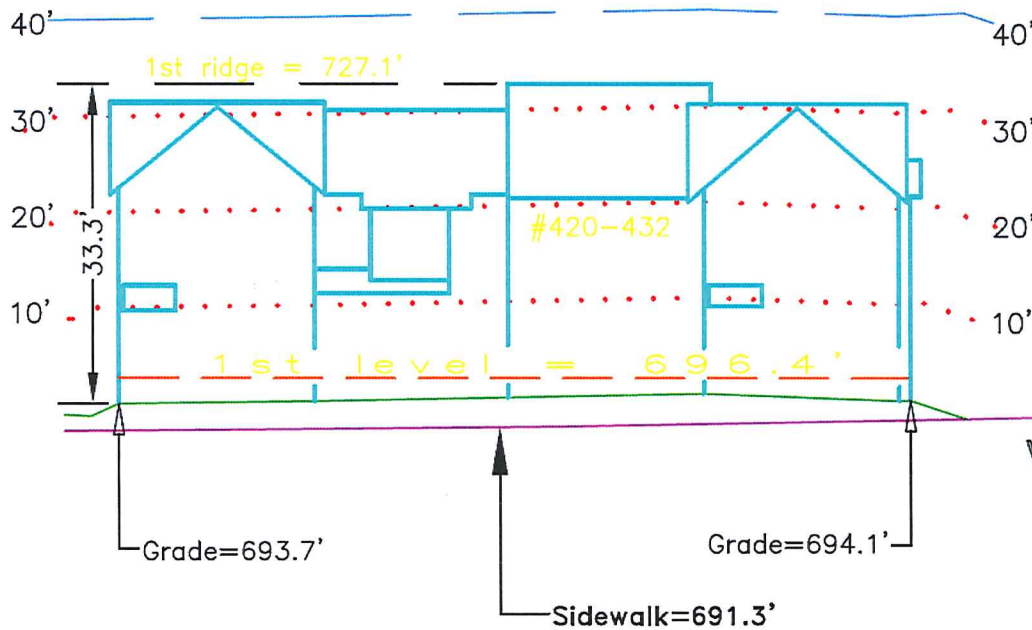
Wickford Place (across the Street – from West Blvd. to Worthington)



Certificate of Appropriateness

HDC RMA-2019-00363

Worthington Ave (Wickford Place)

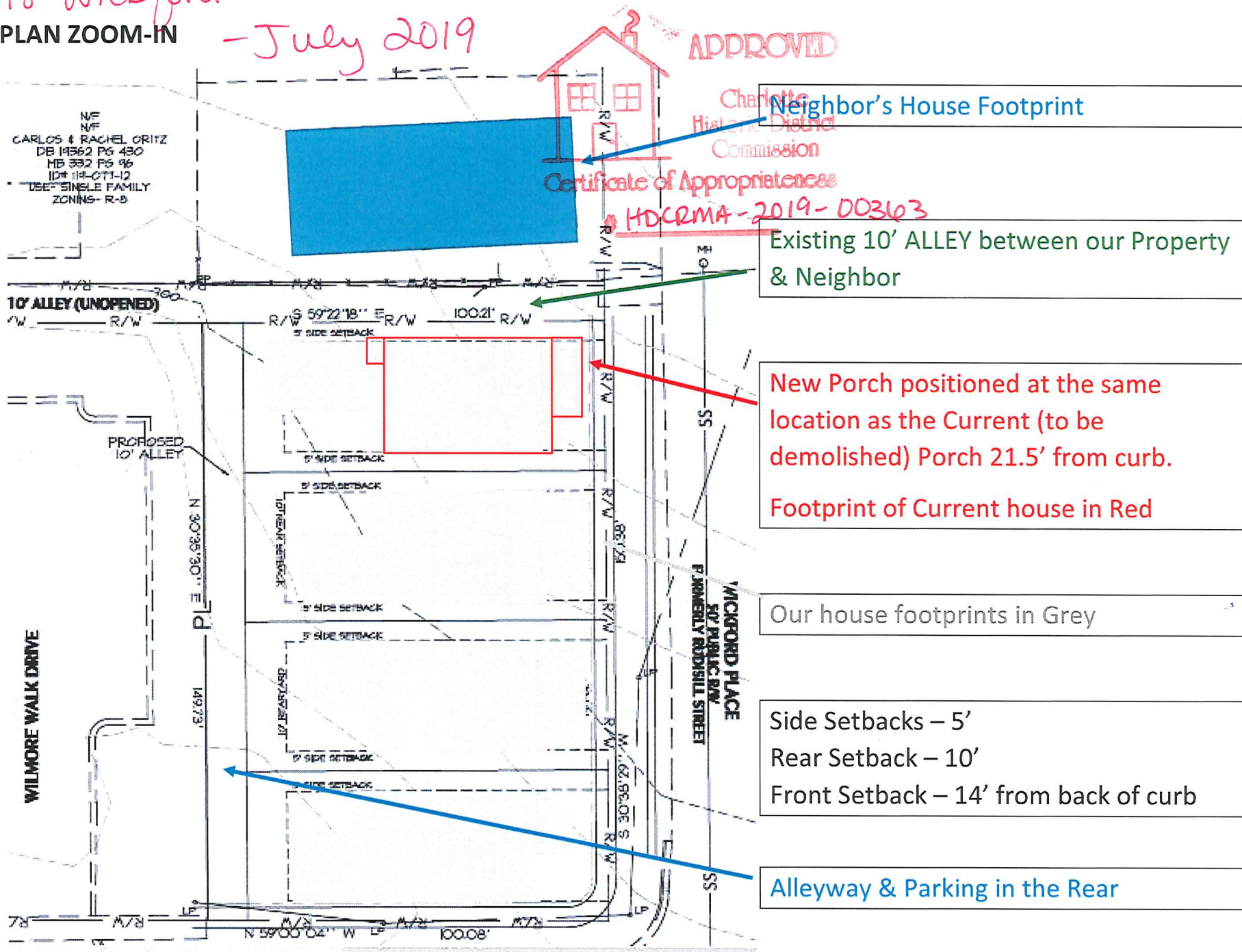


1816 Wickford Place

LOT #	Roofline	Elevation to Grade
1	27' 7.25"	730.3'
2	23' 11.5"	728.6'
3	27' 7.25"	730.8'
4	23' 11.5"	724.8'

1818 Wickford
SITE PLAN ZOOM-IN

- July 2019



APPROVED

Charlotte
Historic District
Commission

Neighbor's House Footprint

Certificate of Appropriateness

HDCRMA-2019-003103

Existing 10' ALLEY between our Property & Neighbor

New Porch positioned at the same location as the Current (to be demolished) Porch 21.5' from curb.
Footprint of Current house in Red

Our house footprints in Grey

Side Setbacks - 5'
Rear Setback - 10'
Front Setback - 14' from back of curb

Alleyway & Parking in the Rear

N/F
N/F
CARLOS & RACHEL GRITZ
DB 14362 PG 430
HB 332 PG 96
112# 118-071-12
USE SINGLE FAMILY
ZONING- R-8

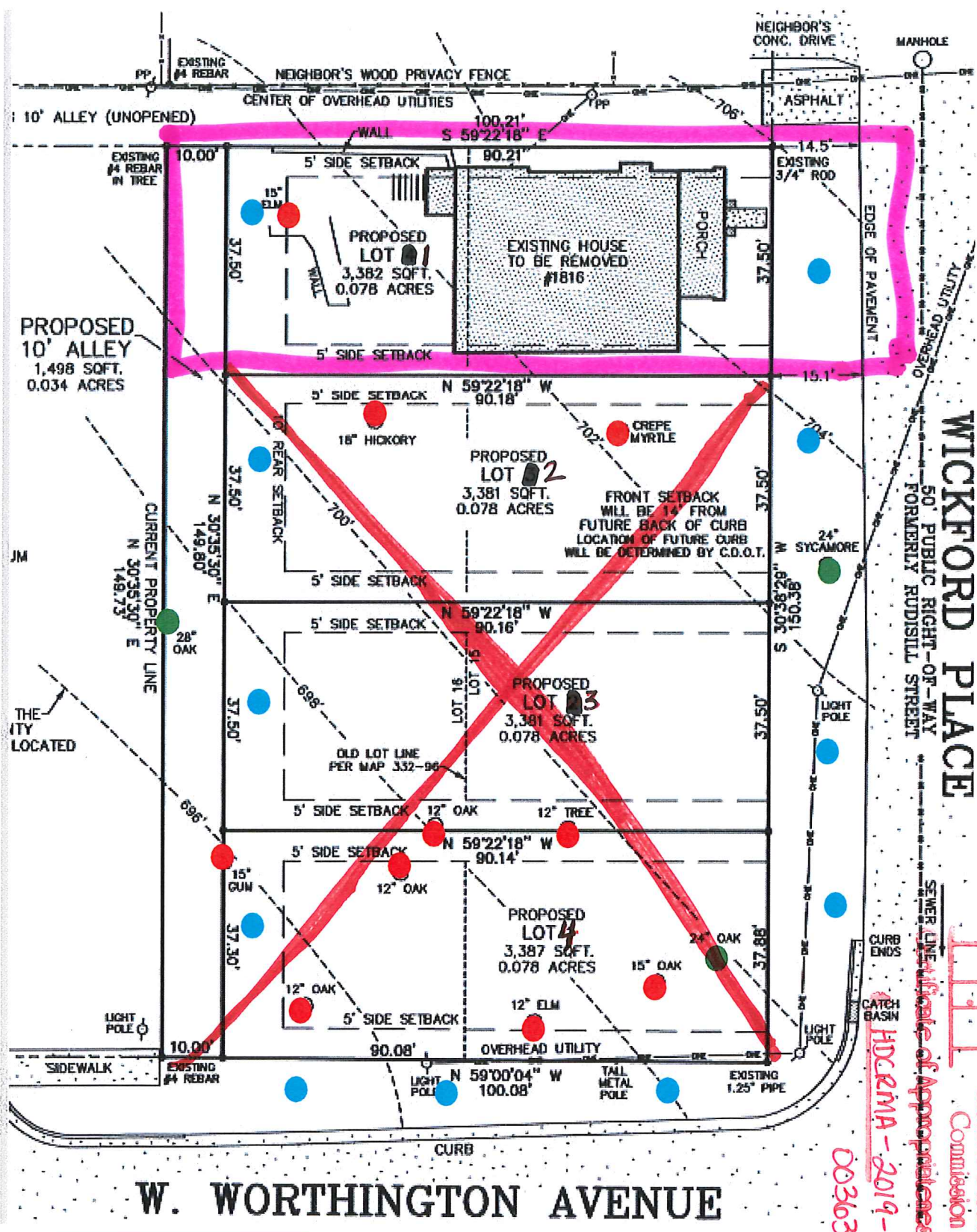
10' ALLEY (UNOPENED)

WILMORE WALK DRIVE

WICKFORD PLACE
BY PUBLIC ROW
FORMERLY RODRIGUEZ STREET

N 59'00"02" W 100.00'

Tree Plan - 1818 Wickford



KEEP

- 24" OAK
- 28" OAK
- 24" SYCAMORE

ADD

- (11) Medium Size Oak Trees

REMOVED

- (5) Oak
- (1) Crepe Myrtle
- (1) Gum
- (1) Hickory
- (1) Elm